

PERMIT SET

NUPRO INDUSTRIAL

PROJECT DEVELOPMENT

MERRIGAN WAY, S. DEERFIELD, MA

APPLICANT:

NUPRO LLC.

10 SANDY LANE
DEERFIELD, MA 01373
413.397.3538

CONTRACTOR:

ONE DEVELOPMENT & CONSTRUCTION LLC.

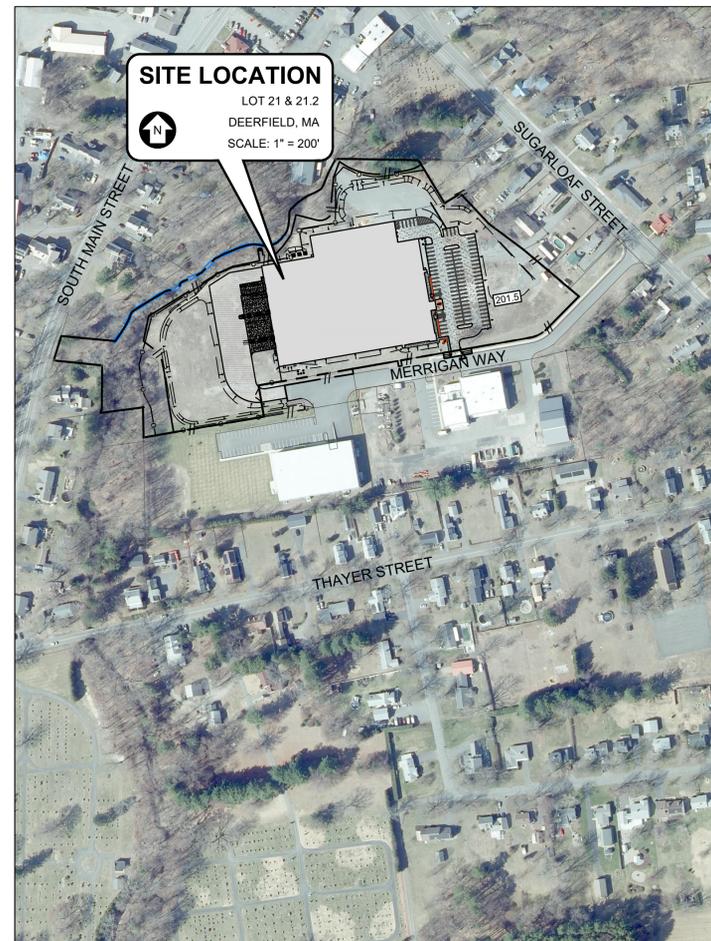
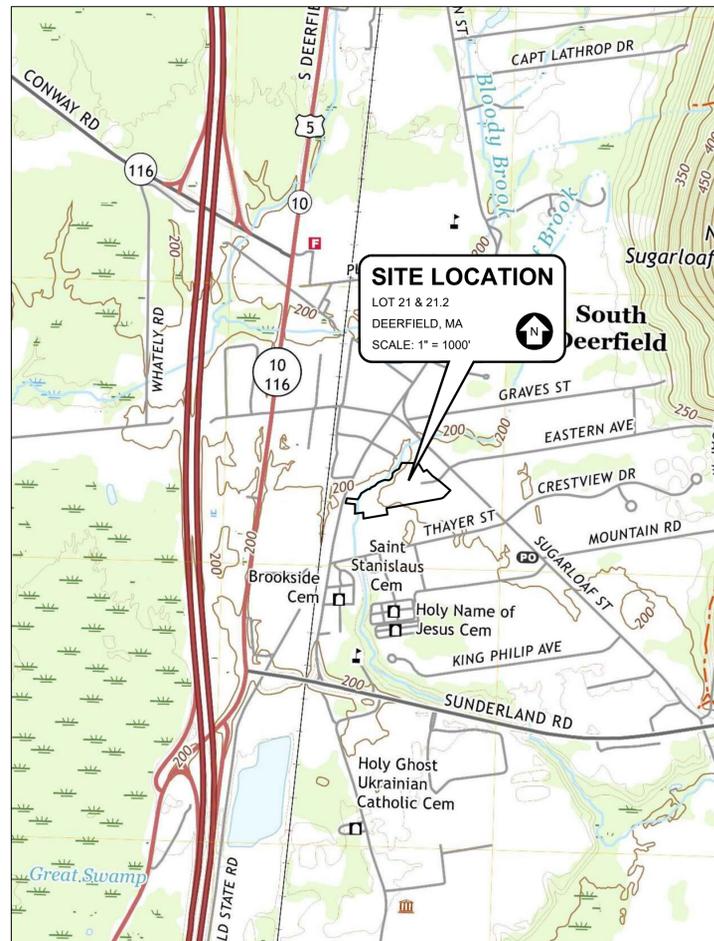
68 UNION ST
WESTFIELD, MA 01085
413.485.4060

PREPARED BY:

SVE

Engineering
Planning
Landscape Architecture
Surveying

SVE Associates
P.O. Box 1818
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MS 11-3-22
MARK STADNICKI
R.C.E. NUMBER: 55402 DATE

NO.	REVISION	DATE	DWN	CHK
1	REVISED PER PEER REVIEW COMMENTS	1 - NOV - 22	MJS	MJS
2	REVISED PER ADDITION OF RIP RAP FOR FOUNDATION DRAIN	3 - NOV - 22	MJS	MJS

GENERAL

- 1. APPROVAL OF THESE PLANS BY THE CITY/TOWN ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL "A PERMIT" IS ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE TOWN OF DEERFIELD DOES NOT AUTHORIZE THE SUBDIVIDER, OWNER AND CONTRACTOR TO VIOLATE ANY FEDERAL, STATE OR LOCAL LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION.

EROSION AND SEDIMENT CONTROL

- 1. PROVIDE GRAVEL BAG CHEVRONS IMMEDIATELY UPSTREAM OF DRAINAGE INLETS AS INDICATED ON DETAILS.
2. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.

WATER NOTES

- 1. WATER SYSTEM CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE SOUTH DEERFIELD WATER SUPPLY DISTRICT WATER SYSTEM CONSTRUCTION STANDARDS.
2. PRIOR TO BACKFILLING, ALL WATER MAINS, VALVES AND SERVICE CONNECTIONS SHALL BE INSPECTED BY THE SOUTH DEERFIELD WATER SUPPLY DISTRICT.
3. ALL NEW MAINS AND SERVICES SHALL BE PRESSURE AND LEAKAGE TESTED AND DISINFECTED IN ACCORDANCE WITH THE SOUTH DEERFIELD WATER SUPPLY DISTRICT CONSTRUCTION STANDARDS AND AWWA C-800 AND C-801.

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE TOWN OF DEERFIELD AND THE SOUTH DEERFIELD WATER SUPPLY DISTRICT.

DIG SAFE

OTHER UNKNOWN UTILITIES MAY LIKELY BE PRESENT THAT ARE NOT SHOWN ON THE PLAN. THE CONTRACTOR SHALL CONTACT (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.

NPDES NOTE

IN ACCORDANCE WITH THE CLEAN WATER ACT THIS PROJECT IS REQUIRED TO OBTAIN COVERAGE UNDER THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.). A NOTICE OF INTENT SHALL BE FILED WITH THE E.P.A. AND A STORM WATER POLLUTION PREVENTION PLAN SHALL BE REQUIRED PRIOR TO CONSTRUCTION.

STANDARD SPECIFICATIONS

- 1. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (2006 EDITION)
2. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS (2003 EDITION).
3. STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, MASSACHUSETTS HIGHWAY DEPARTMENT (CURRENT EDITION).
4. STANDARD SPECIFICATIONS FOR TOWN OF DEERFIELD & SOUTH DEERFIELD WATER SUPPLY DISTRICT.

GRADING QUANTITIES

Table with 2 columns: Item, Quantity. Includes GRADED AREA (7.7 ACRES), CUT QUANTITIES (13,259 CYD), FILL QUANTITIES (25,452 CYD), IMPORT (12,193 CYD).

THESE QUANTITIES ARE APPROXIMATE ONLY AND ARE FOR PERMIT PURPOSES ONLY. QUANTITIES SHOULD NOT BE USED FOR CONTRACTOR PAY QUANTITIES.

ROCK EXCAVATION IS NOT ANTICIPATED FOR THIS DEVELOPMENT.

IF ROCK IS ENCOUNTERED, ROCK EXCAVATION SHALL BE DONE IN ACCORDANCE WITH MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS SECTION 120.

BENCHMARK DATA

(1) BENCHMARK(S) EXIST ON THE SITE, THEY ARE BASED ON NAD83

BENCHMARK #1 LOCATION DESCRIPTION: CL DOORWAY OF THE WESTERN OVERHEAD DOOR TO THE TOWN GARAGE
POINT DESCRIPTION: GAR DOOR TOWN GARAGE
ELEVATION: 202.16'

EXISTING CONDITION, TOPOGRAPHY AND BOUNDARY INFORMATION

BOUNDARY INFORMATION IS BASED ON A PLAN OF LAND IN DEERFIELD, MA PREPARED FOR THE TOWN OF DEERFIELD, PREPARED BY BY HERITAGE SURVEYS, INC., DATED AUGUST 21, 2020, RECORDED IN THE FRANKLIN COUNTY REGISTRY OF DEEDS, JANUARY 19, 2021, PLAN BOOK: 148, PAGE: 7.

EXISTING CONDITIONS BASED ON COMPILED DATA FROM A SURVEY CONDUCTED BY SHERMAN & FRYDRYK, LLC, 3 CONVERSE STREET, SUITE 203, PALMER MA (413)283-6210; PROJECT NO. 14150; LAST REVISED 12/11/14, TOPOGRAPHIC SURVEY CONDUCTED BY SVE ASSOCIATES IN 2018, AND 2022, ALONG WITH PROJECT INFORMATION FROM THE DUMONT INDUSTRIAL PROJECT DEVELOPMENT, DESIGNED BY SVE ASSOCIATES LAST REVISED 10/31/18.

UTILITY INFORMATION

CONTRACTOR SHALL BE AWARE THAT THE UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON AVAILABLE INFORMATION. OTHER UNKNOWN UTILITIES MAY LIKELY BE PRESENT THAT ARE NOT SHOWN ON THE PLAN. THE CONTRACTOR SHALL CONTACT, AT LEAST 72 HOURS PRIOR TO CONSTRUCTION, DIG SAFE, TOWN OF DEERFIELD PUBLIC WORKS DEPARTMENT, ELECTRIC AND TELEPHONE UTILITY SERVICE PROVIDER TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR STARTING CONSTRUCTION.

WETLAND BOUNDARY INFORMATION

WETLAND RESOURCE AREAS DELINEATED BY NEW ENGLAND ENVIRONMENTAL, INC. ON 9/17/14 AND 9/22/14, A DETERMINATION OF APPLICABILITY WAS ISSUED BY THE DEERFIELD CONSERVATION COMMISSION ON 11/24/14 TO APPROVE THE DELINEATION PERFORMED BY NEE, INC. WARD SMITH OF WENDELL WETLAND SERVICES VISITED THE SITE IN JANUARY 2022 AND DETERMINED THE PREVIOUS DELINEATION TO BE CONCURRENT WITH CURRENT CONDITIONS.

FLOOD PLAIN INFORMATION

PROPERTY AS SHOWN LIES WITHIN FLOOD INSURANCE RATE MAP REFERENCED DIRECTLY BELOW AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA):

NUMBER 250115 0006 b, DATED JULY 2, 1980.

THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE "C."

GENERAL PROPERTY INFORMATION

OWNER: NUPRO LLC
8 SANDY LANE STREET
S. DEERFIELD, MA 01373

ZONING DESIGNATION: EPD - EXPEDITED PERMITTING DISTRICT

Table with 3 columns: Item, Required, Provided. Includes MIN. LOT AREA (N/A, 28.9 ACRES), PROJECT AREA (27.89 ACRES), MIN. FRONTAGE (N/A, 271').

Table with 3 columns: Item, Required, Provided. Includes FRONT SETBACK (25', 226'), SIDE SETBACK (25', 2104'), REAR SETBACK (25', 244').

Table with 3 columns: Item, Required, Provided. Includes MAX LOT COVERAGE (20%, 35.9%), MAX BUILDING HEIGHT (48', 38').

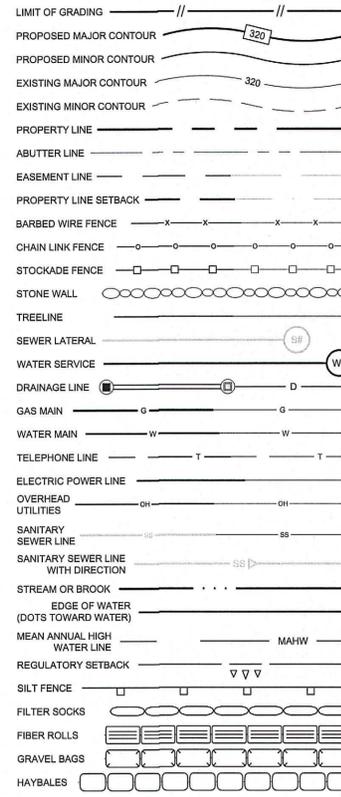
APPLICANT & CONTRACTOR INFORMATION

APPLICANT: NUPRO, LLC
10 SANDY LN
DEERFIELD, MA 01373
413.387.3838

CONTRACTOR: ONE DEVELOPMENT & CONSTRUCTION, LLC.
68 UNION ST
WESTFIELD, MA 01085
413.485.4060



LINE TYPES



MISCELLANEOUS symbols including BONDED FIBER MATRIX WITH HYDROSEED, STRAW MAT, RIP RAP, ROCK DAM, DRAINAGE FLOW ARROW, POINTS (EXIST/PROP), GUY POLE/WIRE, LIGHT POLE, METER, ELECTRICAL BOX, CABLE TV BOX, TELEPHONE PEDESTAL, UTILITY BOX, UTILITY VAULT, WATER WELL, SIGN, MONITORING WELL, TEST PIT, PERC TEST, HAND BORING, WETLANDS FLAG, MAIL BOX, MONUMENT, UNMARKED POINT, BENCHMARK, SEWER MANHOLE, DRAINAGE MANHOLE, TELEPHONE MANHOLE, ELECTRICAL MANHOLE, CATCH BASIN, LEACHING BASIN, GAS VALVE, FIRE HYDRANT, UTILITY POLE.

ABBREVIATIONS

Table of abbreviations for IP, GMON, CMON, MHB, DH, PILL, PCB, PLB, PDMH, PSMH, PTMH, PEMH, WM, GAS, STM, OHD, UGD, OB, LB, DMH, SMH, TMH, EMH, MH, INV / IE, TG, RIM, FL, HDPE, RCP, PVC, CMP, ACCOMP, VC, DI, PROP, EXIST, CONC, RET, ROW, CL, EB, EOP / EP, BC, CC, TYP, NIF, W/F, TBM, BM, PL, EASE, SETB, WET, BWV, RA, EOW, EOWET, MAHW, WETSET, PT, TP, BOR, MW, SF, CHLF, STOCK, BWF, STWL.

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MARK STADNICKI DATE 11-2-22
R.C.E. NUMBER: 55402

FOR PERMITTING

Table with columns: NO., DATE, REVISION, REVIEWER, COMMENTS. Includes entry for 1-NOV-22.

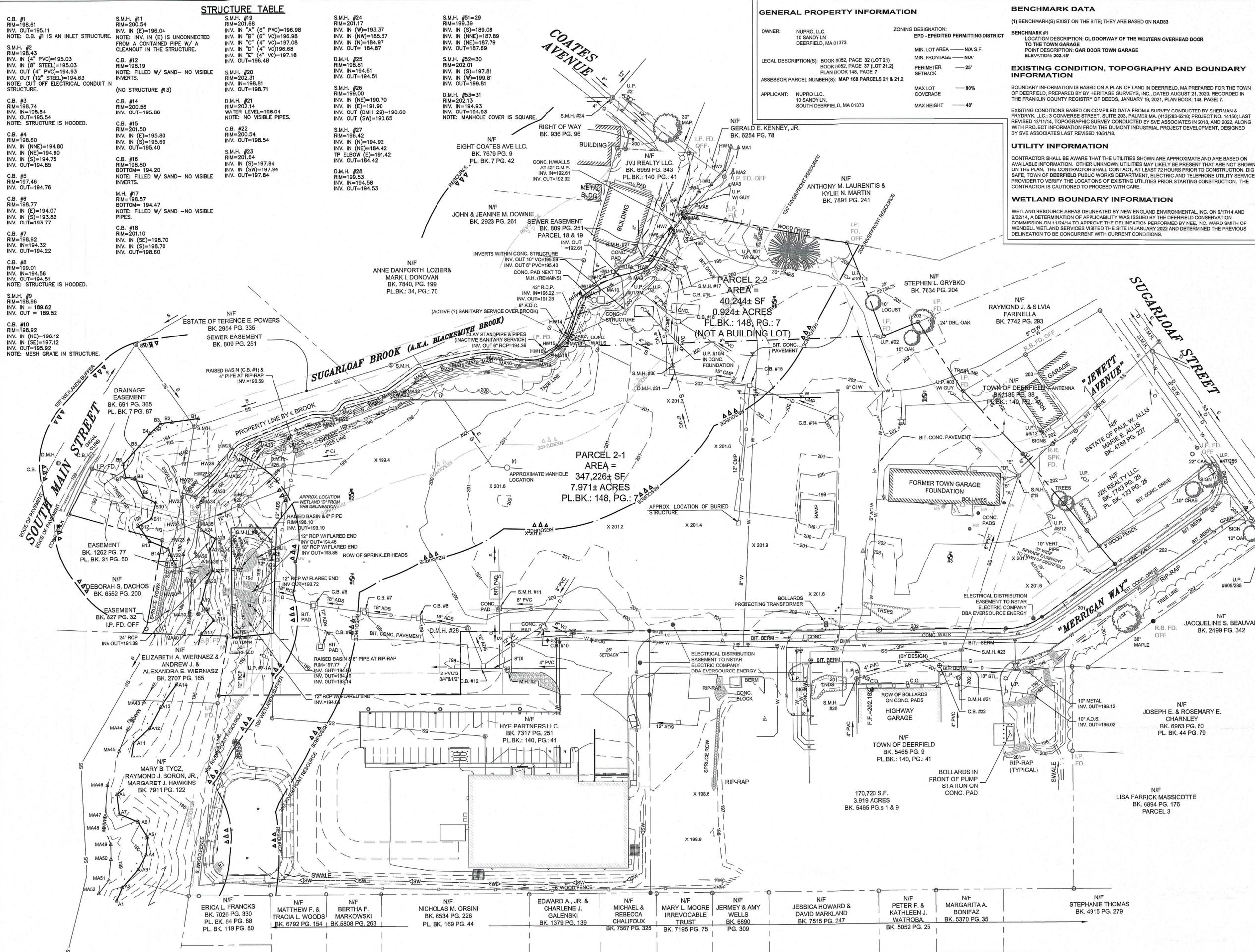
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STANDARD NOTES, LEGEND, & TABLE OF CONTENTS
NUPRO INDUSTRIAL PROJECT DEVELOPMENT
ONE DEVELOPMENT & CONSTRUCTION, LLC.
68 UNION STREET
WESTFIELD, MA 01085

PROJ. #: G2073
DATE: 22-AUG-22

DESIGN: MJS SHEET 1/12
DRAWN: MJS
CHECKED: MJS

Drawing name: P:\Project\MA PROJECTS\G2073 One Development and Construction\NUPRO\DWG\Concepts\G2073_NUPRO_10-26-22.dwg Nov 02, 2022 - 12:11pm



STRUCTURE TABLE

C.B. #1 RIM=198.61 INV. OUT=195.11 NOTE: C.B. #1 IS AN INLET STRUCTURE.	S.M.H. #11 RIM=200.54 INV. IN "A" (6" PVC)=196.04 NOTE: INV. IN (E) IS UNCONNECTED FROM A CONTAINED PIPE W/ A CLEANOUT IN THE STRUCTURE.	S.M.H. #19 RIM=201.88 INV. IN "A" (6" PVC)=196.98 INV. IN "B" (6" VC)=196.98 INV. IN "C" (4" VC)=197.08 INV. IN "D" (4" VC)=196.68 INV. IN "E" (4" VC)=197.18 INV. OUT=196.48	S.M.H. #24 RIM=201.17 INV. IN (W)=193.37 INV. IN (NW)=185.37 INV. IN (N)=184.87 INV. OUT=184.87
S.M.H. #2 RIM=198.43 INV. IN (4" PVC)=195.03 INV. IN (8" STEEL)=195.03 INV. OUT (4" PVC)=194.93 INV. OUT (12" STEEL)=194.93 NOTE: CUT OFF ELECTRICAL CONDUIT IN STRUCTURE.	C.B. #12 RIM=198.19 NOTE: FILLED W/ SAND - NO VISIBLE INVERTS.	S.M.H. #20 RIM=202.31 INV. IN=198.81 INV. OUT=198.71	D.M.H. #25 RIM=198.81 INV. IN=194.61 INV. OUT=194.51
C.B. #3 RIM=198.74 INV. IN=195.54 INV. OUT=195.54 NOTE: STRUCTURE IS HOODED.	C.B. #14 RIM=200.56 INV. OUT=195.86	D.M.H. #21 RIM=202.14 WATER LEVEL=198.04 NOTE: NO VISIBLE PIPES.	S.M.H. #27 RIM=196.42 INV. IN (N)=194.92 INV. IN (NE)=184.42 TP ELBOW (E)=191.42 INV. OUT=184.42
C.B. #4 RIM=198.60 INV. IN (NE)=194.80 INV. IN (NNE)=194.90 INV. IN (S)=194.75 INV. OUT=194.85	C.B. #15 RIM=201.50 INV. IN (E)=195.80 INV. IN (S)=195.60 INV. OUT=195.40	S.M.H. #23 RIM=201.84 INV. IN (S)=197.94 INV. IN (SW)=197.94 INV. OUT=197.84	D.M.H. #28 RIM=199.53 INV. IN=194.58 INV. OUT=194.53
C.B. #5 RIM=197.46 INV. OUT=194.76	M.H. #17 RIM=198.57 BOTTOM=194.47 NOTE: FILLED W/ SAND - NO VISIBLE PIPES.	C.B. #18 RIM=201.10 INV. IN (SE)=198.70 INV. IN (S)=198.70 INV. OUT=198.80	D.M.H. #31 RIM=202.13 INV. IN=194.93 INV. OUT=194.93 NOTE: MANHOLE COVER IS SQUARE.
C.B. #6 RIM=198.77 INV. IN (E)=194.07 INV. IN (S)=193.82 INV. OUT=193.77	C.B. #19 RIM=201.10 INV. IN (SE)=198.70 INV. IN (S)=198.70 INV. OUT=198.80		
C.B. #7 RIM=198.92 INV. IN=194.32 INV. OUT=194.22			
C.B. #8 RIM=199.01 INV. IN=194.56 INV. OUT=194.51 NOTE: STRUCTURE IS HOODED.			
S.M.H. #9 RIM=198.96 INV. IN = 189.62 INV. OUT = 189.52			
C.B. #10 RIM=198.92 INV. IN (NE)=196.12 INV. IN (SE)=197.12 INV. OUT=195.92 NOTE: MESH GRATE IN STRUCTURE.			

GENERAL PROPERTY INFORMATION

OWNER: NUPRO, LLC, 10 SANDY LN DEERFIELD, MA 01973	ZONING DESIGNATION: EPD - EPIDATED PERMITTING DISTRICT
LEGAL DESCRIPTION(S): BOOK #162, PAGE 32 (LOT 21) BOOK #162, PAGE 37 (LOT 21) PLAN BOOK 148, PAGE 7	MIN. LOT AREA - N/A S.F. MIN. FRONTAGE - N/A' PERIMETER - 25' SETBACK
ASSESSOR PARCEL NUMBER(S): MAP 168 PARCELS 21 & 21.2	MAX LOT COVERAGE - 80% MAX HEIGHT - 48'
APPLICANT: NUPRO LLC, 10 SANDY LN, SOUTH DEERFIELD, MA 01973	

BENCHMARK DATA

(1) BENCHMARK(S) EXIST ON THE SITE; THEY ARE BASED ON NAD83

BENCHMARK #1
LOCATION DESCRIPTION: CL DOORWAY OF THE WESTERN OVERHEAD DOOR TO THE TOWN GARAGE
POINT DESCRIPTION: GAR DOOR TOWN GARAGE
ELEVATION: 202.18'

EXISTING CONDITION, TOPOGRAPHY AND BOUNDARY INFORMATION

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UTILITY INFORMATION

CONTRACTOR SHALL BE AWARE THAT THE UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON AVAILABLE INFORMATION. OTHER UNKNOWN UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLAN. THE CONTRACTOR SHALL CONTACT, AT LEAST 72 HOURS PRIOR TO CONSTRUCTION, DIG SAFE, TOWN OF DEERFIELD PUBLIC WORKS DEPARTMENT, ELECTRIC AND TELEPHONE UTILITY SERVICE PROVIDER TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR STARTING CONSTRUCTION. THE CONTRACTOR IS CAUTIONED TO PROCEED WITH CARE.

WETLAND BOUNDARY INFORMATION

WETLAND RESOURCE AREAS DELINEATED BY NEW ENGLAND ENVIRONMENTAL, INC. ON 9/17/14 AND 9/22/14, A DETERMINATION OF APPLICABILITY WAS ISSUED BY THE DEERFIELD CONSERVATION COMMISSION ON 11/24/14 TO APPROVE THE DELINEATION PERFORMED BY NEE, INC. WARD SMITH OF WENDELL WETLAND SERVICES VISITED THE SITE IN JANUARY 2022 AND DETERMINED THE PREVIOUS DELINEATION TO BE CONCURRENT WITH CURRENT CONDITIONS.



MARK STADNICKI
R.C.E. NUMBER: 55402

DATE
11-2-22

FOR PERMITTING

NO.	REVISION	DATE	BY	CHK	MAIS
1		1 - NOV - 22			

SVE

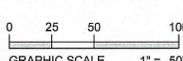
Engineering
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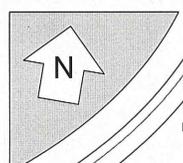
EXISTING CONDITION PLAN

NUPRO INDUSTRIAL
PROJECT DEVELOPMENT

ONE DEVELOPMENT & CONSTRUCTION, LLC.
68 UNION STREET
WESTFIELD, MA 01085



GRAPHIC SCALE 1" = 50'



N

PROJ. #:
G2073

DATE:
22-AUG-22

DESIGN: MJS
DRAWN: MJS
CHECKED: MJS

SHEET
2 / 12

STRUCTURE TABLE

C.B. #1 RIM=198.61 INV. OUT=195.11 NOTE: C.B. #1 IS AN INLET STRUCTURE.	S.M.H. #11 RIM=200.54 INV. IN (E)=196.04 NOTE: INV. IN (E) IS UNCONNECTED FROM A CONTAINED PIPE W/ A CLEANOUT IN THE STRUCTURE.	S.M.H. #19 RIM=201.68 INV. IN "A" (6" PVC)=196.98 INV. IN "B" (6" VC)=196.98 INV. IN "C" (4" VC)=197.08 INV. IN "D" (4" VC)=196.68 INV. IN "E" (4" VC)=197.18 INV. OUT=196.48	S.M.H. #24 RIM=201.17 INV. IN (W)=193.37 INV. IN (NW)=185.37 INV. IN (N)=184.97 INV. OUT=184.87
S.M.H. #2 RIM=198.43 INV. IN (4" PVC)=195.03 INV. IN (8" STEEL)=195.03 INV. OUT (4" PVC)=194.93 INV. OUT (12" STEEL)=194.63 NOTE: OUT OFF ELECTRICAL CONDUIT IN STRUCTURE.	C.B. #12 RIM=202.31 NOTE: FILLED W/ SAND- NO VISIBLE INVERTS.	S.M.H. #20 RIM=202.31 INV. IN=198.81 INV. OUT=198.71	D.M.H. #25 RIM=198.81 INV. IN=194.61 INV. OUT=194.51
(NO STRUCTURE C.B. #3)	C.B. #14 RIM=200.56 INV. OUT=195.86	D.M.H. #21 RIM=202.14 WATER LEVEL=198.04 NOTE: NO VISIBLE PIPES.	S.M.H. #26 RIM=199.00 INV. IN (NE)=190.70 INV. IN (E)=191.90 INV. OUT (DMH 29)=190.60 INV. OUT (SW)=190.65
(NO STRUCTURE C.B. #4)	C.B. #15 RIM=201.50 INV. IN (E)=195.80 INV. IN (S)=195.60 INV. OUT=195.40	C.B. #22 RIM=200.54 INV. OUT=198.54	S.M.H. #27 RIM=198.42 INV. IN (N)=194.92 INV. IN (NE)=184.42 TP ELBOW (E)=191.42 INV. OUT=184.42
C.B. #5 RIM=197.46 INV. OUT=194.76	C.B. #16 RIM=198.80 BOTTOM=194.20 NOTE: FILLED W/ SAND- NO VISIBLE INVERTS.	S.M.H. #23 RIM=201.64 INV. IN (S)=197.94 INV. IN (SW)=197.94 INV. OUT=197.84	D.M.H. #28 RIM=199.53 INV. IN=194.58 INV. OUT=194.53
C.B. #6 RIM=198.77 INV. IN (E)=194.07 INV. IN (S)=193.82 INV. OUT=193.77	M.H. #17 RIM=198.57 BOTTOM=194.47 NOTE: FILLED W/ SAND -NO VISIBLE PIPES.	C.B. #18 RIM=201.10 INV. IN (SE)=198.70 INV. IN (S)=198.70 INV. OUT=198.60	
C.B. #7 RIM=198.92 INV. IN=194.32 INV. OUT=194.22	C.B. #10 RIM=199.02 INV. IN (NE)=196.12 INV. IN (SE)=197.12 INV. OUT=195.92 NOTE: MESH GRATE IN STRUCTURE.		
C.B. #8 RIM=199.01 INV. IN=194.56 INV. OUT=194.51 NOTE: STRUCTURE IS HOODED.			
S.M.H. #9 RIM=198.96 INV. IN =189.62 INV. OUT =189.52			

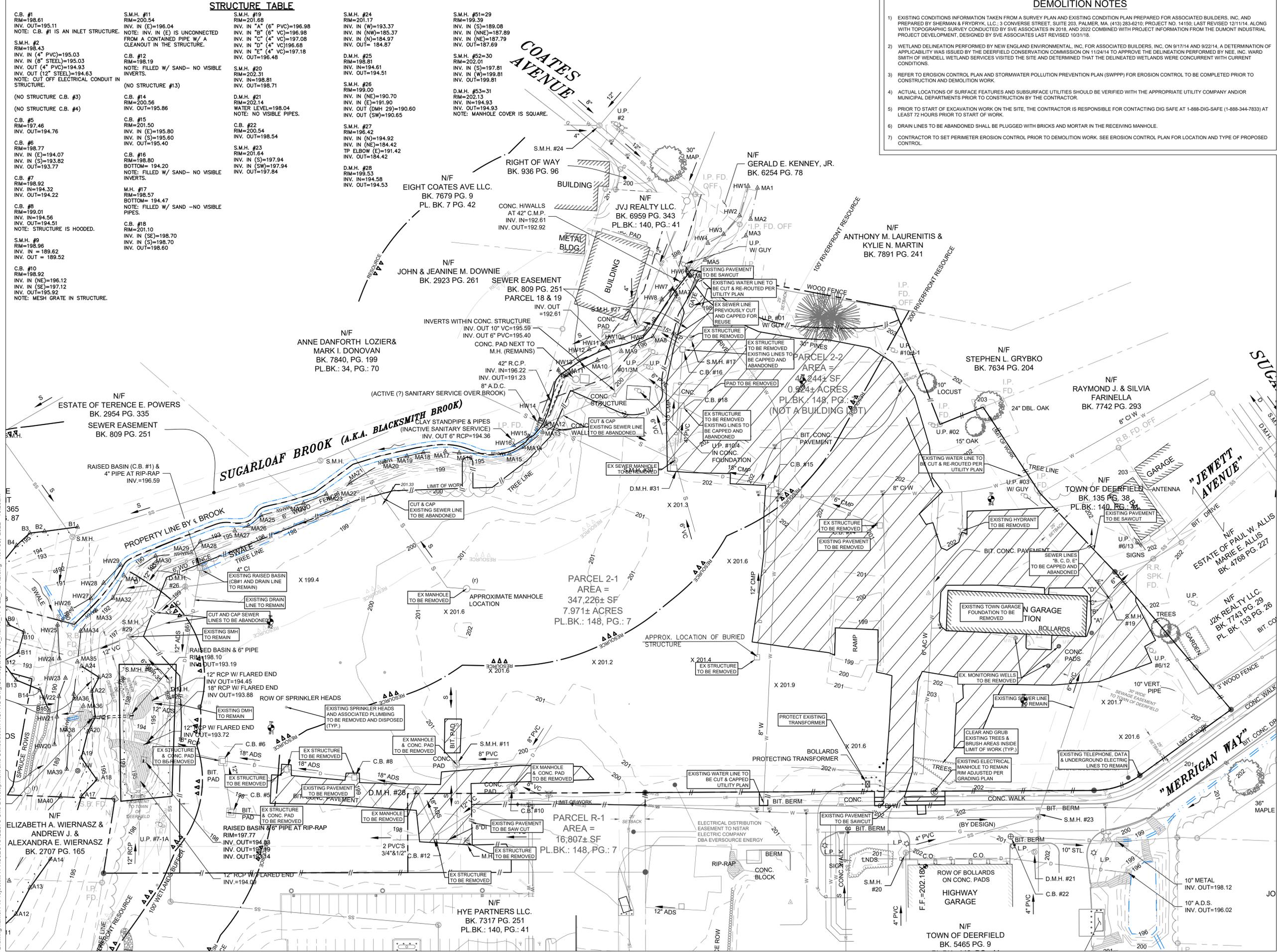
- DEMOLITION NOTES**
- EXISTING CONDITIONS INFORMATION TAKEN FROM A SURVEY PLAN AND EXISTING CONDITION PLAN PREPARED FOR ASSOCIATED BUILDERS, INC. AND PREPARED BY SHERMAN & FRYDRYK, L.L.C., 3 CONVERSE STREET, SUITE 203, PALMER, MA. (413) 283-6210; PROJECT NO. 14150; LAST REVISED 12/11/14. ALONG WITH TOPOGRAPHIC SURVEY CONDUCTED BY SVE ASSOCIATES IN 2018, AND 2022 COMBINED WITH PROJECT INFORMATION FROM THE DUMONT INDUSTRIAL PROJECT DEVELOPMENT, DESIGNED BY SVE ASSOCIATES LAST REVISED 10/31/18.
 - WETLAND DELINEATION PERFORMED BY NEW ENGLAND ENVIRONMENTAL, INC. FOR ASSOCIATED BUILDERS, INC. ON 9/17/14 AND 9/22/14. A DETERMINATION OF APPLICABILITY WAS ISSUED BY THE DEERFIELD CONSERVATION COMMISSION ON 11/24/14 TO APPROVE THE DELINEATION PERFORMED BY NEE, INC. WARD SMITH OF WENDELL WETLAND SERVICES VISITED THE SITE AND DETERMINED THAT THE DELINEATED WETLANDS WERE CONCURRENT WITH CURRENT CONDITIONS.
 - REFER TO EROSION CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR EROSION CONTROL TO BE COMPLETED PRIOR TO CONSTRUCTION AND DEMOLITION WORK.
 - ACTUAL LOCATIONS OF SURFACE FEATURES AND SUBSURFACE UTILITIES SHOULD BE VERIFIED WITH THE APPROPRIATE UTILITY COMPANY AND/OR MUNICIPAL DEPARTMENTS PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
 - PRIOR TO START OF EXCAVATION WORK ON THE SITE, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7633) AT LEAST 72 HOURS PRIOR TO START OF WORK.
 - DRAIN LINES TO BE ABANDONED SHALL BE PLUGGED WITH BRICKS AND MORTAR IN THE RECEIVING MANHOLE.
 - CONTRACTOR TO SET PERIMETER EROSION CONTROL PRIOR TO DEMOLITION WORK. SEE EROSION CONTROL PLAN FOR LOCATION AND TYPE OF PROPOSED CONTROL.



11-3-22
DATE
MARK STADNICKI
R.C.E. NUMBER: 55402

FOR PERMITTING

NO.	DATE	REVISION	CHK	DATE	BY
1	NOV - 22	REVISED PER PEER REVIEW COMMENTS	MJS		
2	NOV - 22	REVISED PER ADDITION OF RIP RAP FOR FOUNDATION DRAIN	MJS		



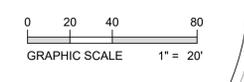
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Engineering
Planning
Landscape Architecture
Surveying

SVE Associates
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Brattleboro, VT 05302
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DEMOLITION PLAN

NUPRO INDUSTRIAL
PROJECT DEVELOPMENT

ONE DEVELOPMENT & CONSTRUCTION, L.L.C.
68 UNION STREET
WESTFIELD, MA 01085



PROJ. #: G2073
DATE: 22-AUG-22

DESIGN: MJS
DRAWN: MJS
CHECKED: MJS

SHEET
3
12

Drawing name: P:\Project\MA PROJECTS\G2073 One Development and Construction\NUPRO\DWG\Concepts\G2073_NUPRO_11-3-22_REV.2.dwg Nov 03, 2022 - 10:26am

- 1A 4" AC 12" DENSE GRADE CRUSHED STONE
- 1B 3" AC PAVEMENT 12" DENSE GRADE CRUSHED STONE
- 2 CONCRETE WALK 4" CONCRETE (4000 PSI) 8" AGGREGATE BASE
- 3 MATCH EXISTING IMPROVEMENTS
- 4 SAW CUT EXISTING PAVEMENT
- 5 PAVEMENT STRIPING
- 6 PRECAST CONCRETE CURB (TYP)
- 7 1000 GALLON OIL/WATER SEPARATOR
- 8 DEED SUMP CATCH BASIN
- 9 PROPOSED OUTLET STRUCTURE W/ RIP RAP APRON (D₅₀ = 6")
- 10 PROPOSED 25' LIGHT POLE (SEE LIGHTING PLAN FOR ADDITIONAL LIGHT LOCATIONS)
- 11 PROPOSED CURB STOP
- 12 PROPOSED VINYL STOCKADE PRIVACY FENCE (6' HIGH)
- 13 TRANSITION FROM TOP OF CURB TO FINISH GRADE

- 14 PROPOSED FLAG POLE LOCATION W/ LANDSCAPE AREA (3 POLES)
- 15 CONCRETE CURB LEVEL SPREADER
- 16 PROPOSED LOAM & SEED (6" LOAM)
- 17 PROPOSED GROUND MOUNTED SIGN W/ LANDSCAPED AREA (PER SECTION 3200 OF DEERFIELD ZONING BYLAWS)
- 18 PROPOSED FIRE HYDRANT
- 19 PROPOSED 6' HIGH VINYL COATED CHAIN LINK FENCE (BLACK)
- 20 PROPOSED 30" VINYL COATED CHAIN LINK SWING GATE (2 - 15' SECTIONS)(6' HIGH)
- 21 PROPOSED WATER GATE VALVE
- 22 PROPOSED 10' VINYL STOCKADE GATE (6' HIGH)
- 23 PROPOSED SEWER MANHOLE
- 24 PROPOSED ROOF DRAINAGE CLEAN OUT
- 25 PROPOSED CURB STOP
- 26 PROPOSED TACTILE STRIP
- 27 PROPOSED DRAINAGE MANHOLE
- 28 PROPOSED ELECTRICAL TRANSFORMER
- 29 PROPOSED OIL/SAND SEPARATOR (SEE PLUMBING PLANS)
- 30 BOLLARDS (TYP.)
- 31 HEAVY DUTY CONCRETE PAVEMENT 7" CONCRETE (4000 PSI W/ #4 REBAR IN A CROSS PATTERN 18" O.C.) 12" AGGREGATE BASE

LEGEND

PROPERTY LINE
 ABUTTER LINE
 EXISTING EASEMENT LINE
 EXISTING STORM DRAIN
 EXISTING SANITARY SEWER
 EXISTING WATER MAIN
 EXISTING EDGE OF PAVE
 EXISTING WOOD FENCE
 EXISTING TREE LINE & EDGE OF BRUSH
 PROPOSED EDGE OF PAVE
 PROPOSED GRADING LIMIT

SYMBOLS

⊙ DRAINAGE MANHOLE
 ⊙ SEWER MANHOLE
 ⊙ GATE VALVE
 ⊙ BENCHMARK
 ⊙ TEST PIT
 ⊙ SLOPE DIRECTION
 ⊙ EXISTING TRANSFORMER

ABBREVIATIONS

SMH SEWER MANHOLE F.F. FINISH FLOOR ELEV.
 DMH DRAIN MANHOLE IE. INVERT ELEV.
 EP EDGE OF PAVEMENT R.R. RD RAIL ROAD SPIKE FOUND
 EG EDGE OF GRAVEL T.W. TOP WALL
 I.P. FD IRON PIPE FOUND M.W. MONITORING WELL
 CB CATCH BASIN

PARKING REQUIREMENTS

ZONING REQUIREMENTS

GENERAL OFFICE
 RESEARCH & DEVELOPMENT,
 MANUFACTURING, OR INDUSTRIAL
 WAREHOUSE & STORAGE

- 1 SPACE PER 250 SQ. FT.
 - 1 SPACE PER 500 SQ. FT. OR 1 SPACE PER EMPLOYEE
 - 1 SPACE PER TWO EMPLOYEES BUT NOT LESS THAN 1 SPACE PER 5,000 SQ. FT. OF AREA DEVOTED TO IN-OR OUTDOOR STORAGE

PROJECT AREAS

OFFICE - 9,165 SQ. FT.
 MANUFACTURING - 11,386 SQ. FT. W/ 17 EMPLOYEES
 MAINTENANCE - 10,100 SQ. FT. W/ 5 EMPLOYEES
 WAREHOUSE - 69,414 SQ. FT. W/ 3 EMPLOYEES

REQUIRED SPACES PER AREA

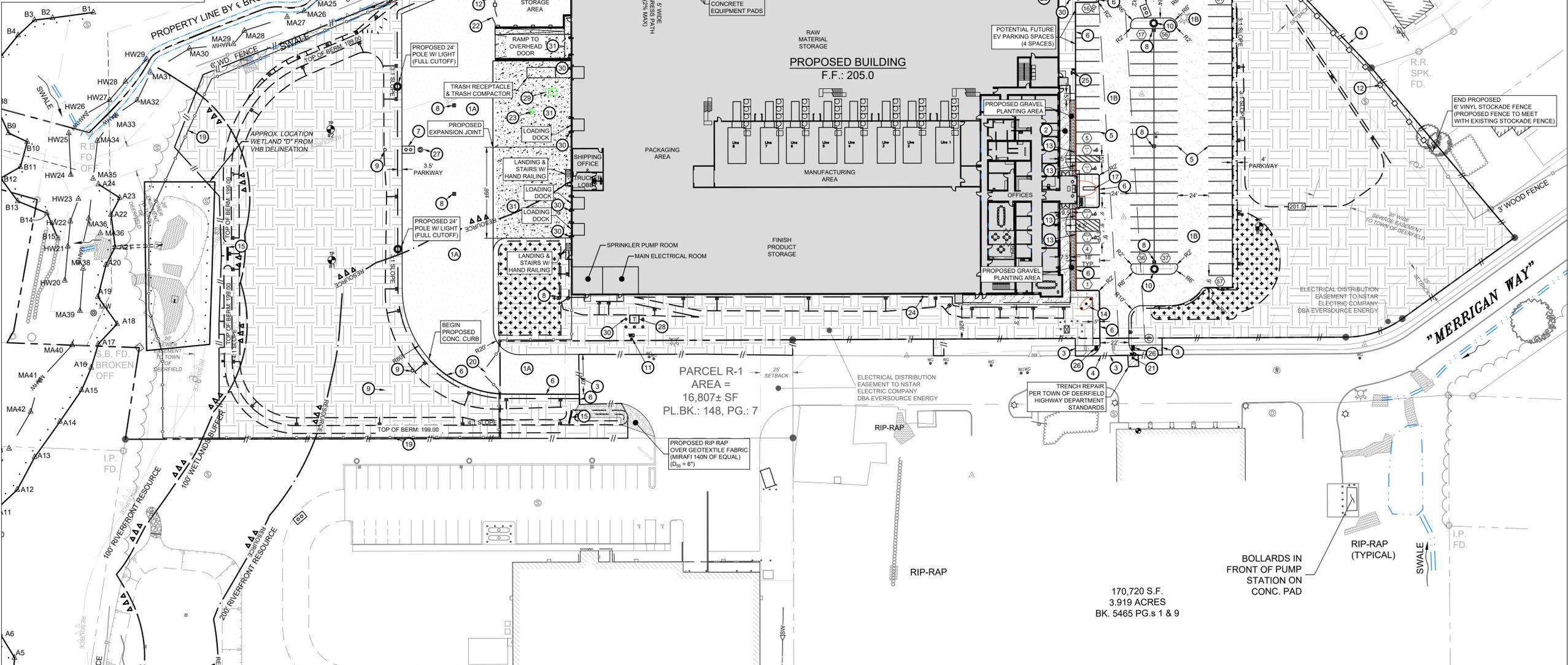
OFFICE - 36.66 SPACES ~ 37 SPACES
 MANUFACTURING/MAINTENANCE - 42.77 SPACES ~ 43 SPACES
 WAREHOUSE - 13.89 SPACES ~ 14 SPACES
 TOTAL 94 SPACES

PROVIDED SPACES

STANDARD (8' X 18') SPACES - 90 SPACES
 ADA SPACES (8' X 18') SPACES - 4 SPACES
 TOTAL 94 SPACES

ZONING DESIGNATION: EPD - EXPEDITED PERMITTING DISTRICT

REQUIRED	PROVIDED
MIN. LOT AREA	N/A
PROJECT AREA	28.9 ACRES
MIN. FRONTAGE	N/A
FRONT SETBACK	25'
SIDE SETBACK	25'
REAR SETBACK	25'
MAX LOT COVERAGE	80%
MAX BUILDING HEIGHT	48'




 11-3-22
 MARK STADNICKI
 R.C.E. NUMBER: 55402
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FOR PERMITTING

NO.	DATE	REVISION	CHK	MIS
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2	NOV - 22	REVISED PER ADDITION OF RIP RAP FOR FOUNDATION DRAIN	MJS	MJS

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SITE PLAN

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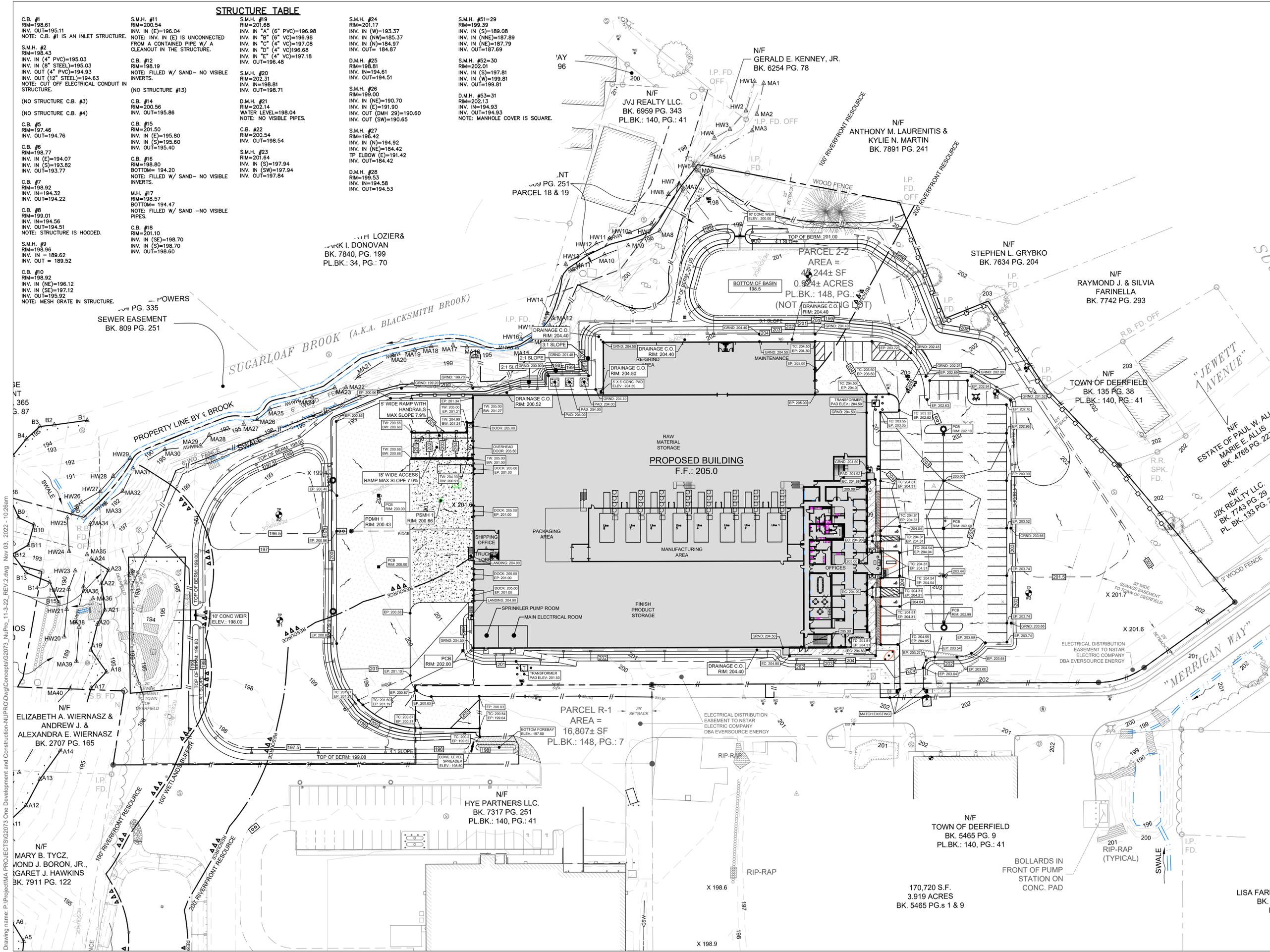
0 20 40 80
 GRAPHIC SCALE 1" = 40'

N

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4/12

Drawing name: P:\Project\MA PROJECTS\G2073 One Development and Construction\NUPRO\Drawings\Concepts\G2073_NUPRO_11-3-22_REV.2.dwg Nov 03, 2022 - 10:26am



STRUCTURE TABLE

C.B. #1 RIM=198.61 INV. OUT=195.11 NOTE: C.B. #1 IS AN INLET STRUCTURE.	S.M.H. #11 RIM=200.54 INV. IN (E)=196.04 NOTE: INV. IN (E) IS UNCONNECTED FROM A CONTAINED PIPE W/ A CLEANOUT IN THE STRUCTURE.	S.M.H. #19 RIM=201.68 INV. IN "A" (6" PVC)=196.98 INV. IN "B" (6" VC)=196.98 INV. IN "C" (4" VC)=197.08 INV. IN "D" (4" VC)=196.68 INV. IN "E" (4" VC)=197.18 INV. OUT=196.48	S.M.H. #24 RIM=201.17 INV. IN (W)=193.37 INV. IN (NW)=185.37 INV. IN (N)=184.97 INV. OUT=184.87	S.M.H. #51=29 RIM=199.39 INV. IN (S)=189.08 INV. IN (NE)=187.89 INV. IN (E)=187.79 INV. OUT=187.69
S.M.H. #2 RIM=198.43 INV. IN (4" PVC)=195.03 INV. IN (8" STEEL)=195.03 INV. OUT (4" PVC)=194.93 INV. OUT (12" STEEL)=194.63 NOTE: OUT OFF ELECTRICAL CONDUIT IN STRUCTURE.	C.B. #12 RIM=198.19 NOTE: FILLED W/ SAND- NO VISIBLE INVERTS.	S.M.H. #20 RIM=202.31 INV. IN=198.81 INV. OUT=198.71	S.M.H. #25 RIM=198.81 INV. IN=194.61 INV. OUT=194.51	S.M.H. #52=30 RIM=202.01 INV. IN (S)=197.81 INV. IN (W)=199.81 INV. OUT=199.81
(NO STRUCTURE C.B. #3) (NO STRUCTURE C.B. #4)	C.B. #14 RIM=200.56 INV. OUT=195.86	D.M.H. #21 RIM=202.14 WATER LEVEL=198.04 NOTE: NO VISIBLE PIPES.	S.M.H. #26 RIM=199.00 INV. IN (NE)=190.70 INV. IN (E)=191.90 INV. OUT (DMH 29)=190.60 INV. OUT (SW)=190.65	D.M.H. #53=31 RIM=202.13 INV. IN=194.93 INV. OUT=194.93 NOTE: MANHOLE COVER IS SQUARE.
C.B. #5 RIM=197.46 INV. OUT=194.76	C.B. #15 RIM=201.50 INV. IN (E)=195.80 INV. IN (S)=195.60 INV. OUT=195.40	C.B. #22 RIM=200.54 INV. OUT=198.54	S.M.H. #27 RIM=198.42 INV. IN (N)=194.92 INV. IN (NE)=184.42 TP ELBOW (E)=191.42 INV. OUT=184.42	
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C.B. #7 RIM=198.92 INV. IN=194.32 INV. OUT=194.22	M.H. #17 RIM=198.57 BOTTOM=194.47 NOTE: FILLED W/ SAND -NO VISIBLE PIPES.			
C.B. #8 RIM=199.01 INV. IN=194.56 INV. OUT=194.51 NOTE: STRUCTURE IS HOODED.	C.B. #18 RIM=201.10 INV. IN (E)=198.70 INV. IN (S)=198.70 INV. OUT=198.60			
C.B. #9 RIM=198.96 INV. IN = 189.62 INV. OUT = 189.52	S.M.H. #9 RIM=198.96 INV. IN (NE)=196.12 INV. IN (SE)=197.12 INV. OUT=195.92 NOTE: MESH GRATE IN STRUCTURE.			

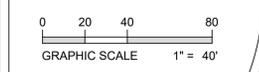


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DATE
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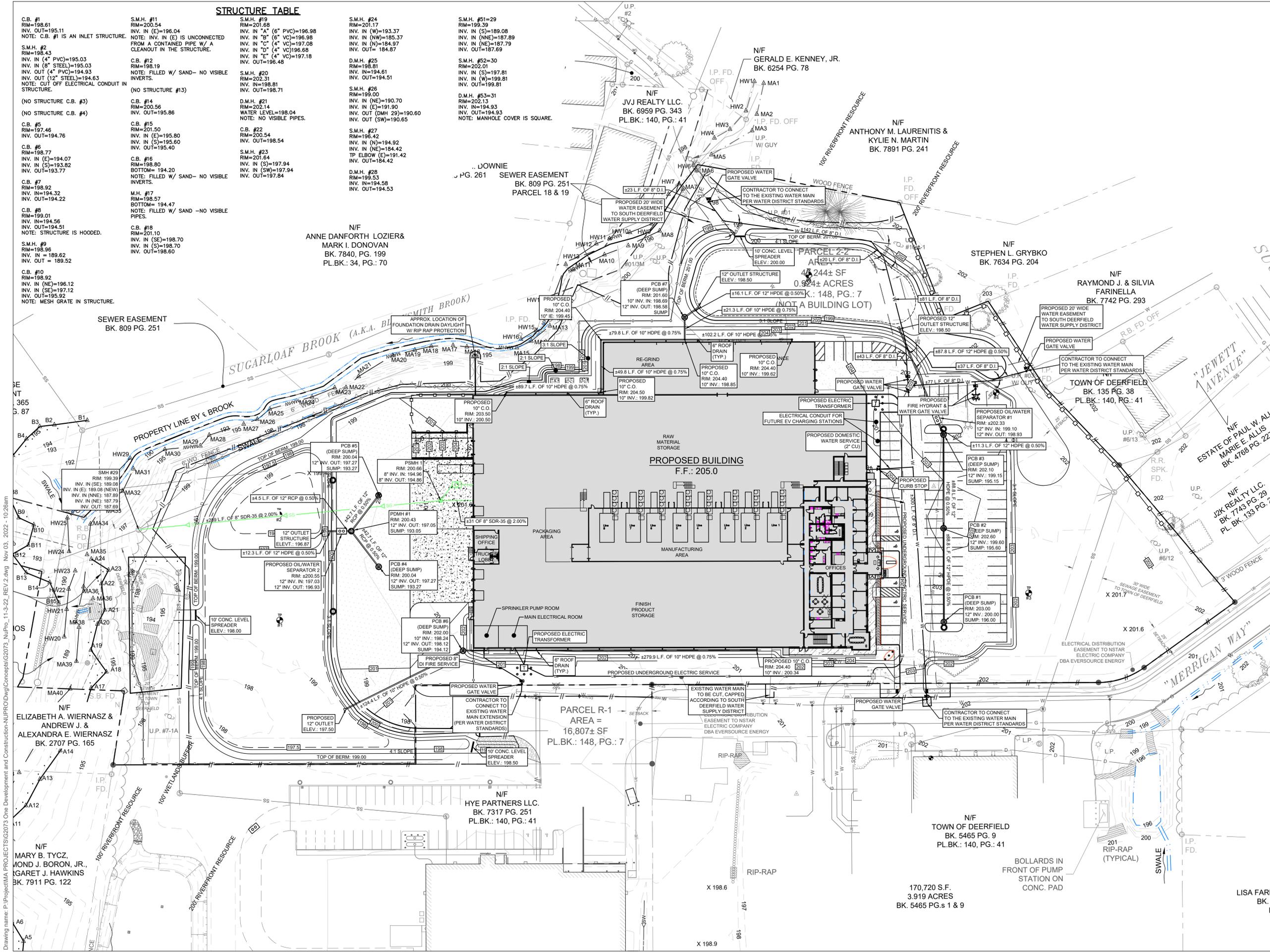
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GRADING PLAN
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PROJ. #:
G2073
DATE:
22-AUG-22
DESIGN: MJS
DRAWN: MJS
CHECKED: MJS
SHEET
5/12

Drawing name: P:\Project\MA PROJECTS\G2073 One Development and Construction\NUPRO\DWG\Concepts\G2073_NuPro_11-3-22_REV.2.dwg Nov 03, 2022 - 10:26am



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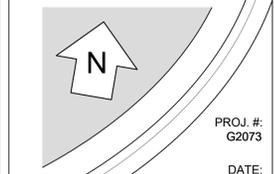
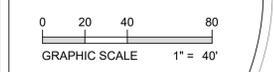
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UTILITY PLAN

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G2073

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DESIGN: MJS
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SHEET
6/**12**

Drawing name: P:\Project\MA PROJECTS\G2073 One Development and Construction\NUPRO\DWG\Concepts\G2073_NUPRO_11-3-22_REV.2.dwg Nov 03, 2022 - 10:26am

TREE PLANTING SCHEDULE

○ - MATURE TREE DRIP EDGE

ABBREVIATION	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
AR	10	<i>Acer rubrum</i>	RED MAPLE	1" - 1.5" caliper	
AC	6	<i>Acer saccharinum</i>	SILVER MAPLE	1" - 1.5" caliper	
BP	5	<i>Betula populifolia</i>	GRAY BIRCH	1" - 1.5" caliper	
CK	10	<i>Cornus kousa</i>	KOUSA DOGWOOD	1" - 1.5" caliper	
QF	3	<i>Quercus robur Fastigiata</i>	COLUMNAR ENGLISH OAK	1" - 1.5" caliper	
PS	3	<i>Pinus strobus</i>	EASTERN WHITE PINE	1" - 1.5" caliper	

SHRUB PLANTING SCHEDULE

QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
18	<i>Aronia arbutifolia</i>	RED CHOKEBERRY	SAPLINGS	
24	<i>Aronia melanocarpa</i>	BLACK CHOKEBERRY	SAPLINGS	
6	<i>Cornus seicea</i>	RED OSIER DOGWOOD	SAPLINGS	
11	<i>Juniperus horizontalis</i> "Bar Harbor"	BAR HARBOR JUNIPER	2 GALLON	
30	<i>Corylus americana</i>	AMERICAN HAZELNUT	SAPLINGS	
9	<i>Comptonia peregrina</i>	SWEET FERN	2 GALLON	

RIVERFRONT RESOURCE AREA IMPACT LEGEND

- DISTURBED 0 - 100 FT
- DISTURBED 100 - 200 FT
- DEGRADED 0 - 100 FT
- DEGRADED 100 - 200 FT

RIVERFRONT RESOURCE AREA IMPACTS

TOTAL RIVERFRONT ON PROPERTY: 198,229 SF

EXISTING DEGRADED RIVERFRONT RESOURCE AREA*
 0-100 FT: 67,034 SF
 100-200 FT: 87,365 SF
 TOTAL EXISTING DEGRADED: 154,399 SF

EXISTING DISTURBED RIVERFRONT RESOURCE AREA*
 0-100 FT: 13,432 SF
 100-200 FT: 2,337 SF
 TOTAL EXISTING DISTURBED: 15,769 SF

TOTAL EXISTING IMPACTS IN RIVERFRONT:
 0-100 FT: 80,466 SF
 100-200 FT: 89,702 SF
 TOTAL EXISTING IMPACTS: 170,168 SF

PROPOSED DEGRADED RIVERFRONT RESOURCE AREA
 0-100 FT: 17,183 SF
 100-200 FT: 47,605 SF
 TOTAL PROP. DEGRADED AREA: 64,788 SF

PROPOSED DISTURBED RIVERFRONT RESOURCE AREA
 0-100 FT: 46,753 SF (+520 SF NEW)
 100-200 FT: 39,383 SF
 TOTAL PROP. DISTURBED AREA: 86,136 SF

TOTAL PROPOSED IMPACTS IN RIVERFRONT:
 0-100 FT: 63,916 SF
 100-200 FT: 88,989 SF
 TOTAL PROPOSED IMPACTS: 152,904 SF

* - PREVIOUS DEGRADED AREA CALCULATED OFF OF 2005 AERIAL PHOTOGRAPHY. PROPERTY WAS OPERATED BY OXFORD FOOD COMPANY.



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LANDSCAPE & RIVERFRONT IMPROVEMENT PLAN

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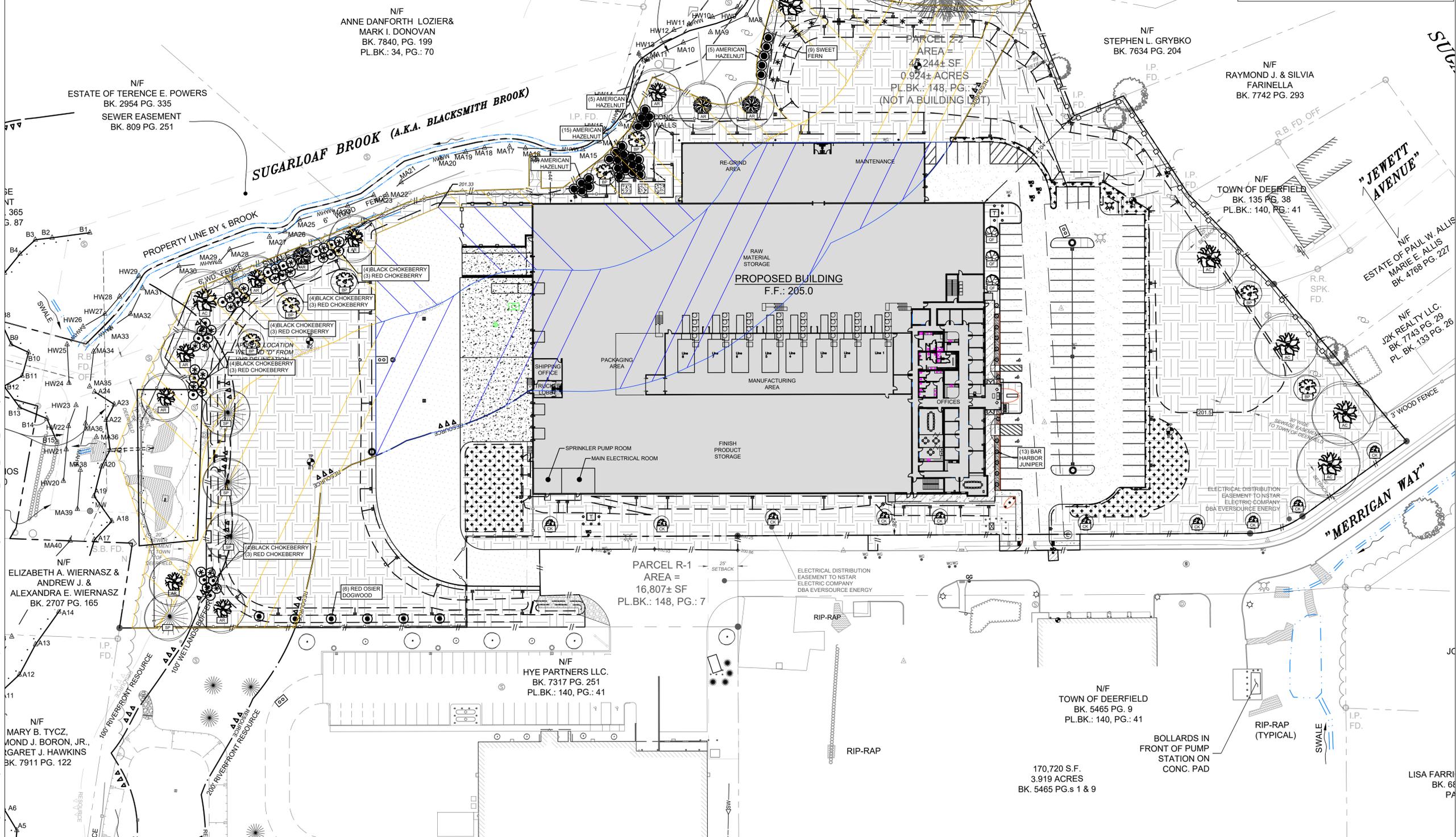
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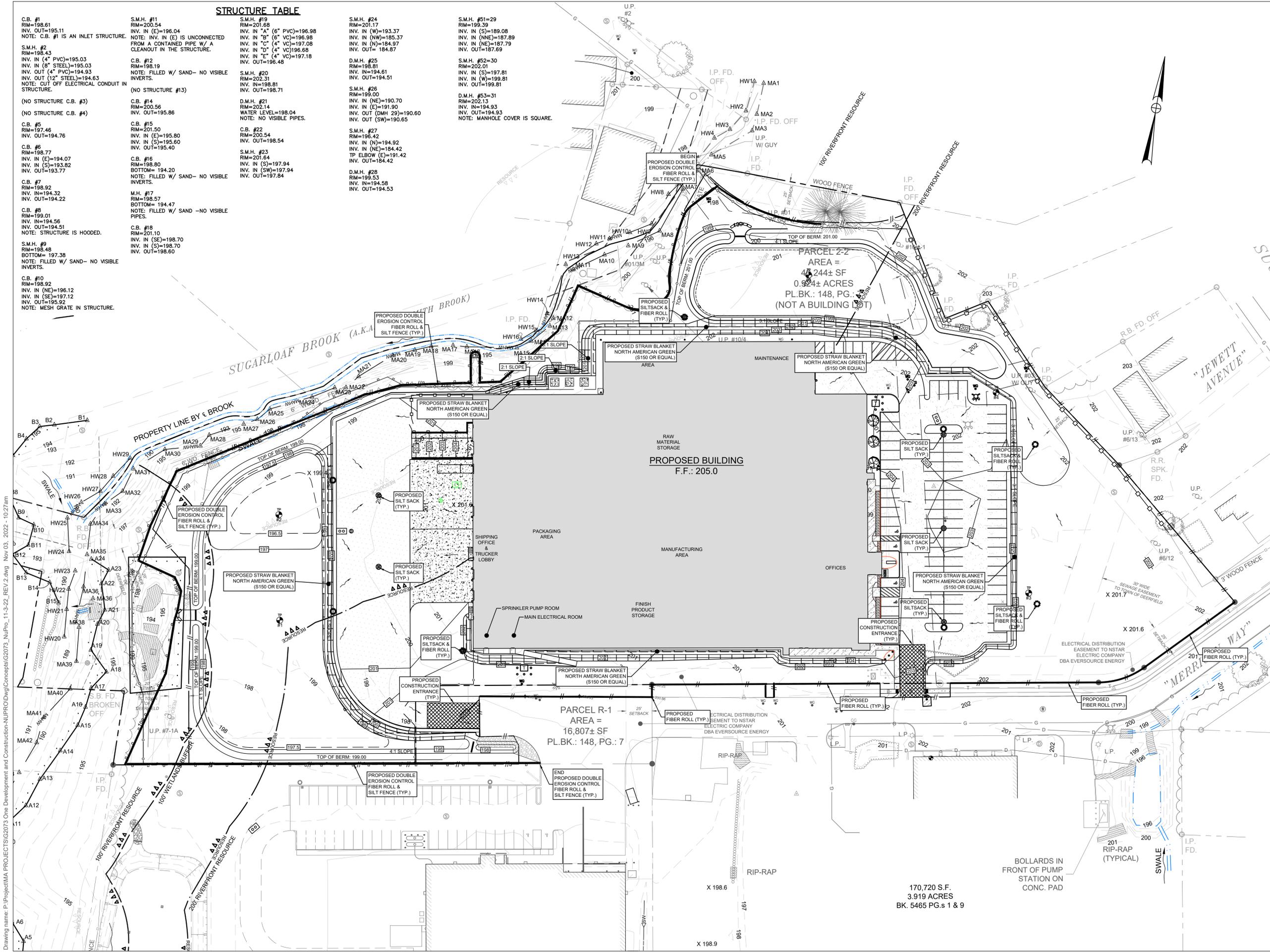
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C.B. #5 RIM=197.46 INV. OUT=194.76	C.B. #15 RIM=201.50 INV. IN (E)=195.80 INV. IN (S)=195.60 INV. OUT=195.40	S.M.H. #23 RIM=201.64 INV. IN (S)=197.94 INV. IN (SW)=197.84 INV. OUT=197.84	D.M.H. #28 RIM=199.53 INV. IN=194.58 INV. OUT=194.53	
C.B. #6 RIM=198.77 INV. IN (E)=194.07 INV. IN (S)=193.82 INV. OUT=193.77	C.B. #16 RIM=198.80 BOTTOM=194.20 NOTE: FILLED W/ SAND- NO VISIBLE INVERTS.	M.H. #17 RIM=198.57 BOTTOM=194.47 NOTE: FILLED W/ SAND -NO VISIBLE PIPES.		
C.B. #7 RIM=198.92 INV. IN=194.32 INV. OUT=194.22	C.B. #18 RIM=201.10 INV. IN (SE)=198.70 INV. IN (S)=198.70 INV. OUT=198.60			
C.B. #8 RIM=199.01 INV. IN=194.56 INV. OUT=194.51 NOTE: STRUCTURE IS HOODED.				
S.M.H. #9 RIM=198.48 BOTTOM=197.38 NOTE: FILLED W/ SAND- NO VISIBLE INVERTS.				
C.B. #10 RIM=198.92 INV. IN (NE)=196.12 INV. IN (SE)=197.12 INV. OUT=195.92 NOTE: MESH GRATE IN STRUCTURE.				



11-3-22
 MARK STADNICKI
 R.C.E. NUMBER: 55402
FOR PERMITTING

NO.	DATE	REVISION	CHK	DATE	CHK
1	NOV - 22	REVISED PER PEER REVIEW COMMENTS	MJS		
2	NOV - 22	REVISED PER ADDITION OF RIP RAP FOR FOUNDATION DRAIN	MJS		

SVE
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 Planning
 Landscape Architecture
 Surveying

SVE Associates
 P.O. Box 1818
 439 West River Road
 Brattleboro, VT 05302
 T 802.257.0561
 F 802.257.0721
 www.sveassoc.com

EROSION CONTROL PLAN
 NUPRO INDUSTRIAL
 PROJECT DEVELOPMENT
 ONE DEVELOPMENT & CONSTRUCTION, LLC.
 68 UNION STREET
 WESTFIELD, MA 01085

0 20 40 80
 GRAPHIC SCALE 1" = 40'

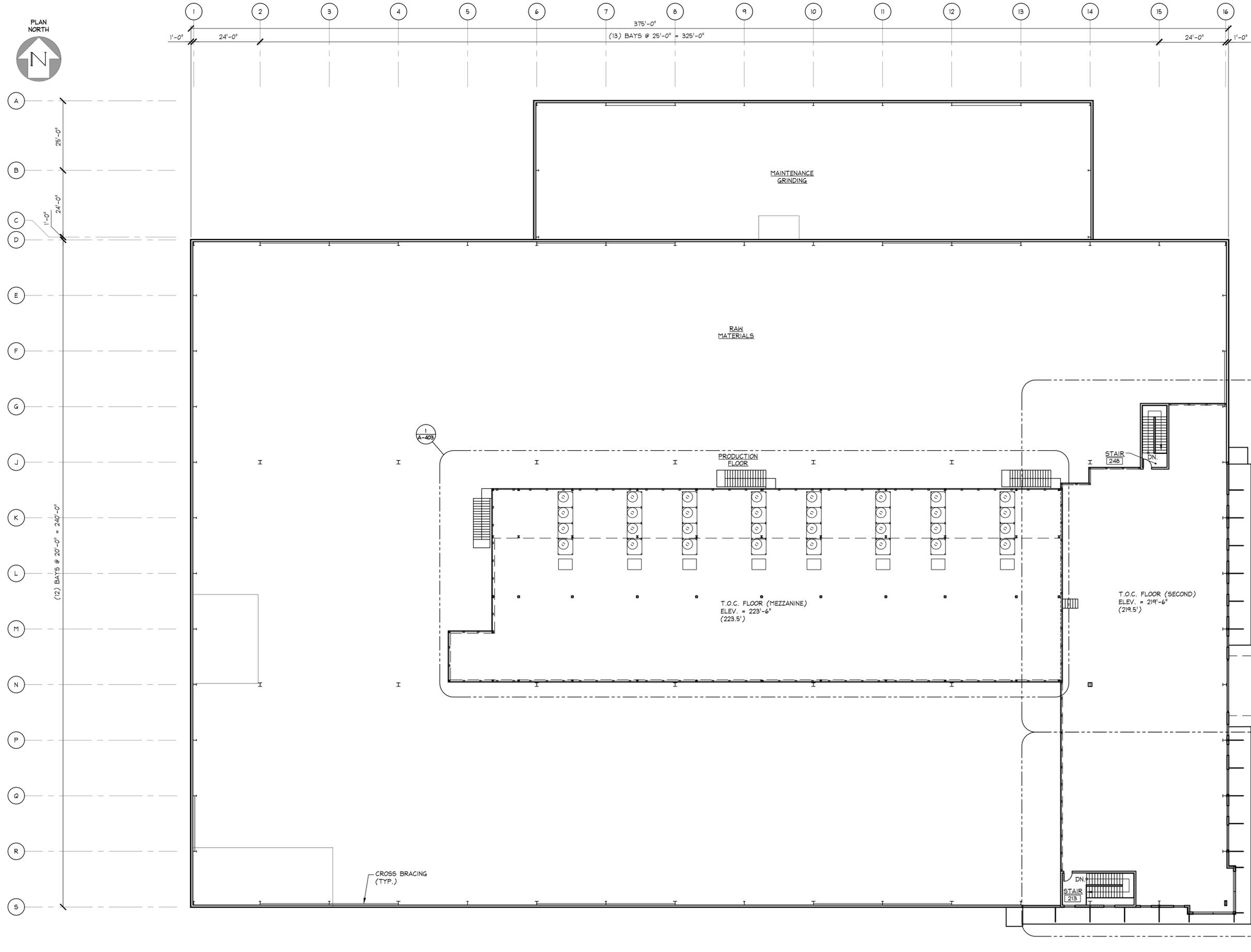
PROJ. #:
G2073
 DATE:
22-AUG-22

DESIGN: MJS
 DRAWN: MJS
 CHECKED: MJS

SHEET
8 / 12

Drawing name: P:\Project\MA PROJECTS\G2073 One Development and Construction\NUPRO\DWG\Concepts\G2073_NUPRO_11-3-22_REV.2.dwg Nov 03, 2022 - 10:27am

PLOT DATE: 7/13/2022 10:33:16 AM USER: MARIANNE KOLODZIEJ FILENAME: S:\CAD\Current\MI-2717 NUPRO\SETUP\DRAWINGS\CAD Files\MI-2717-A-102.dwg



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USED FOR
CONSTRUCTION

REV.	DESCRIPTION	DATE
A	ISSUED FOR DOOR & HARDWARE PRICING	06/30/22
B	ISSUED FOR WINDOW PRICING	07/13/22

NUPRO 10 SANDY LANE SOUTH DEERFIELD, MA 01373	OVERALL SECOND FLOOR/ MEZZANINE PLAN
NEW PRODUCTION BUILDING	

DRAWN BY: **DB**

DATE DRAWN: **05/19/22**

SCALE: **AS NOTED**

APP'D BY: _____

CAD CODE:
MI-2717-A-102.dwg

PROJECT NUMBER:
MI-2717-001

I SECOND FLOOR / MEZZANINE PLAN

A-102 1/16"=1'-0" 0 8' 16' 32'

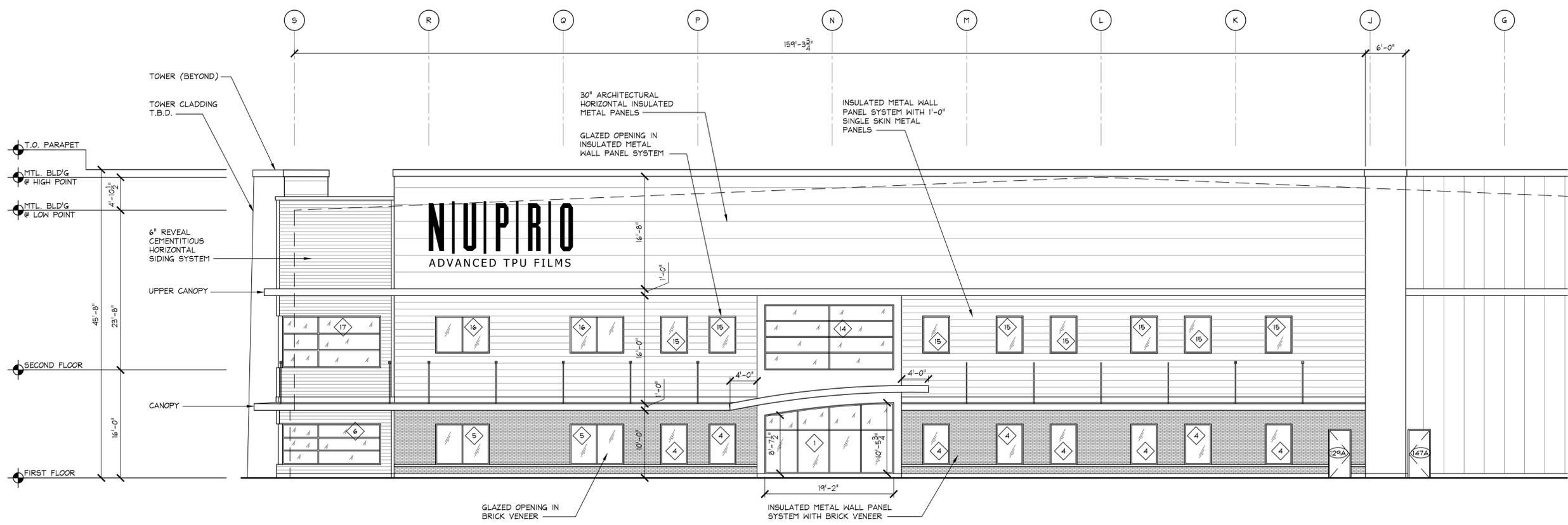
DRAWING NUMBER	REV.
A-102	B

PRELIMINARY

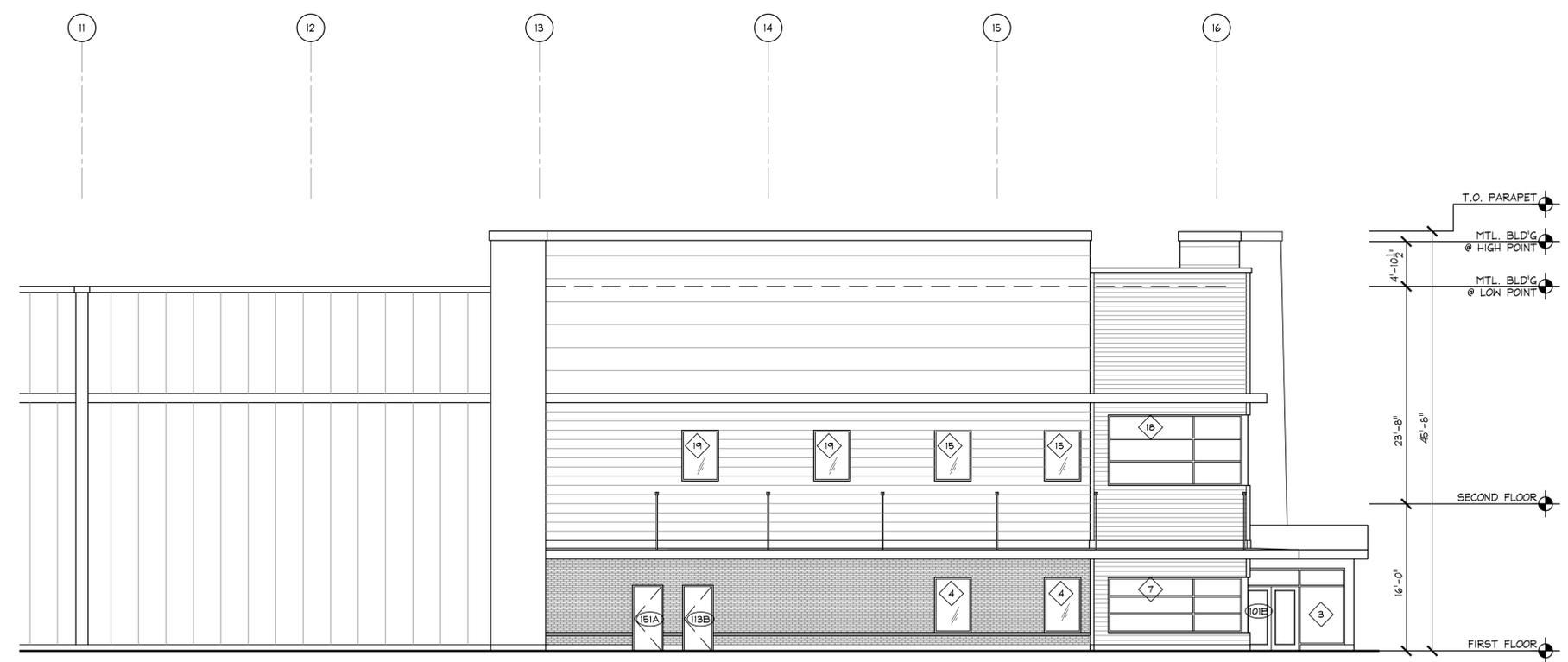
NOT TO BE
USED FOR
CONSTRUCTION

REV.	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	05/31/22
B	ISSUED FOR WINDOW PRICING	07/13/22

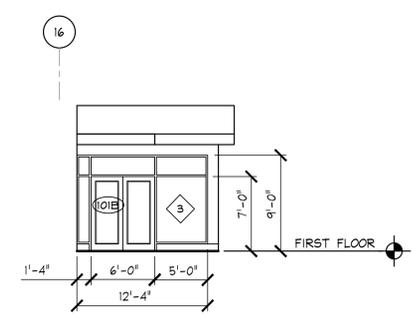
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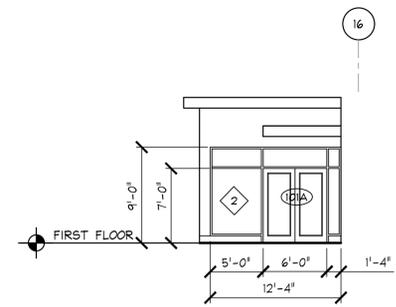
1 EXTERIOR ELEVATION
A-201 1/8"=1'-0" 0 4' 8' 16'



2 EXTERIOR ELEVATION
A-201 1/8"=1'-0" 0 4' 8' 16'



3 EXTERIOR ELEVATION
A-201 1/8"=1'-0" 0 4' 8' 16'



4 EXTERIOR ELEVATION
A-201 1/8"=1'-0" 0 4' 8' 16'

NUPRO
10 SANDY LANE
SOUTH DEERFIELD, MA 01373

PROJECT DESCRIPTION
NEW PRODUCTION BUILDING

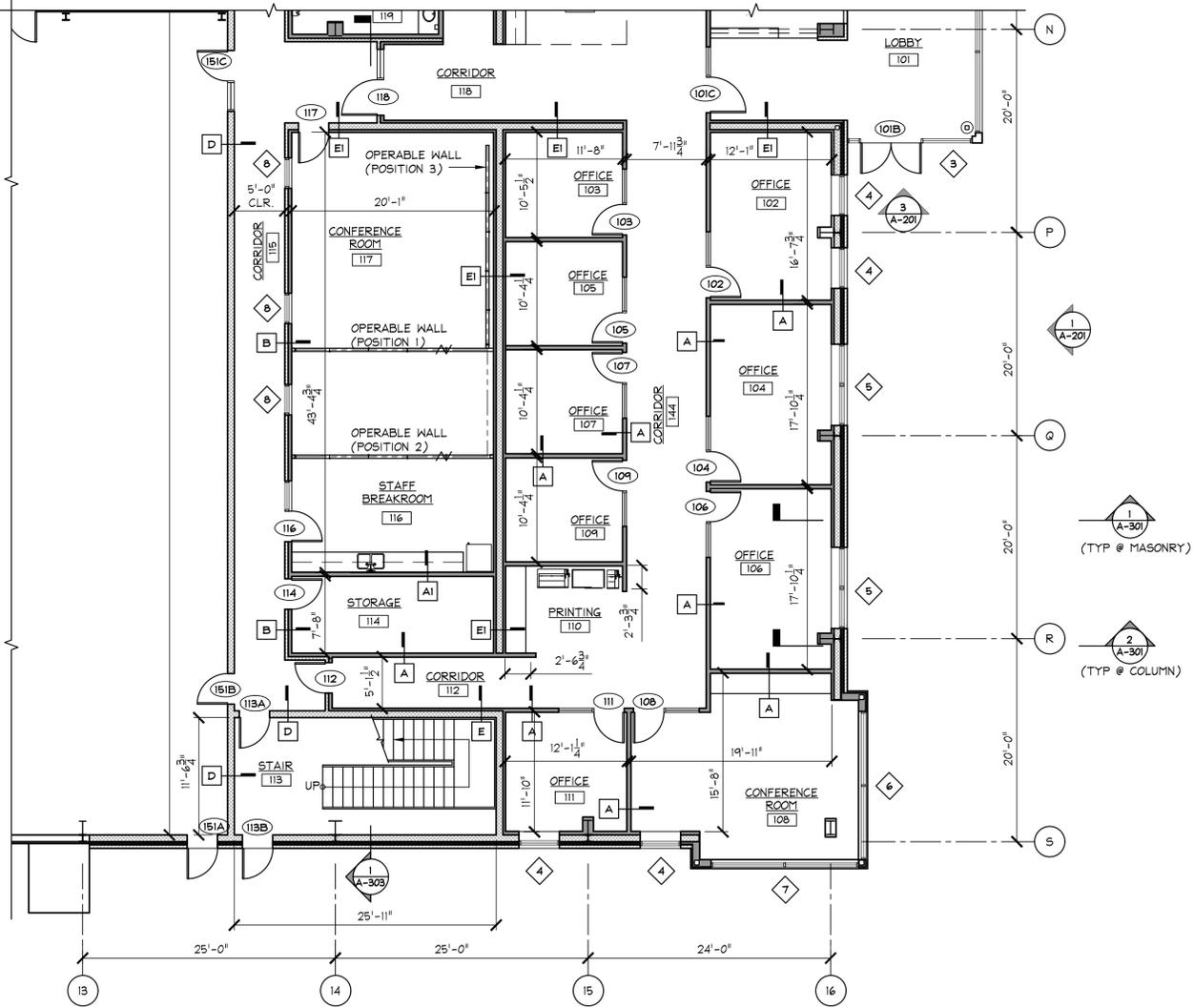
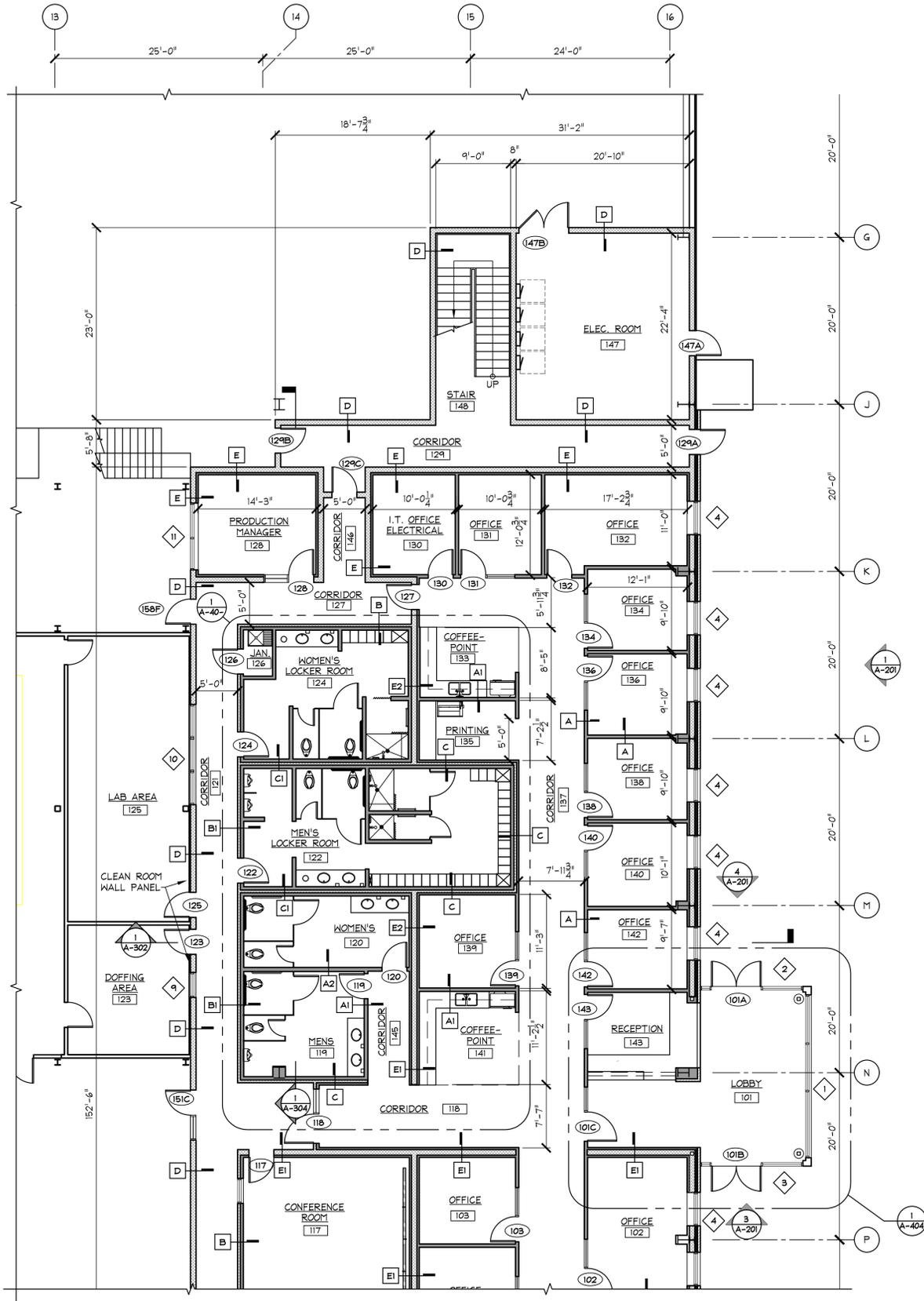
DRAWING TITLE
EXTERIOR ELEVATIONS (OFFICE AREA)

DRAWN BY: **DB**
DATE DRAWN: **05/05/22**
SCALE: **AS NOTED**
APP'D BY:

CAD CODE:
MI-2717-001-A-201.dwg

PROJECT NUMBER:
MI-2717-001

DRAWING NUMBER: **A-201** REV: **B**



PLOT DATE: 7/13/2022 12:51:15 PM USER: MARIANNE KOLODZIEJ FILENAME: S:\CAD\Current\MI-2717 NUPRO\SETUP\DRAWINGS\CAD Files\MI-2717-A-401.dwg

1 ENLARGED FLOOR PLAN
A-401 1/8"=1'-0" 0 4' 8' 16'

2 ENLARGED FLOOR PLAN (CONTINUED)
A-401 1/8"=1'-0" 0 4' 8' 16'

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REV.	DESCRIPTION	DATE	DRN. CK'D.
A	ISSUED FOR DOOR & HARDWARE PRICING	06/30/22	MTK
B	ISSUED FOR WINDOW PRICING	07/13/22	MTK

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NUPRO
10 SANDY LANE
SOUTH DEERFIELD, MA 01373
PROJECT DESCRIPTION
NEW PRODUCTION BUILDING
DRAWING TITLE
ENLARGED FLOOR PLAN (OFFICE AREA)

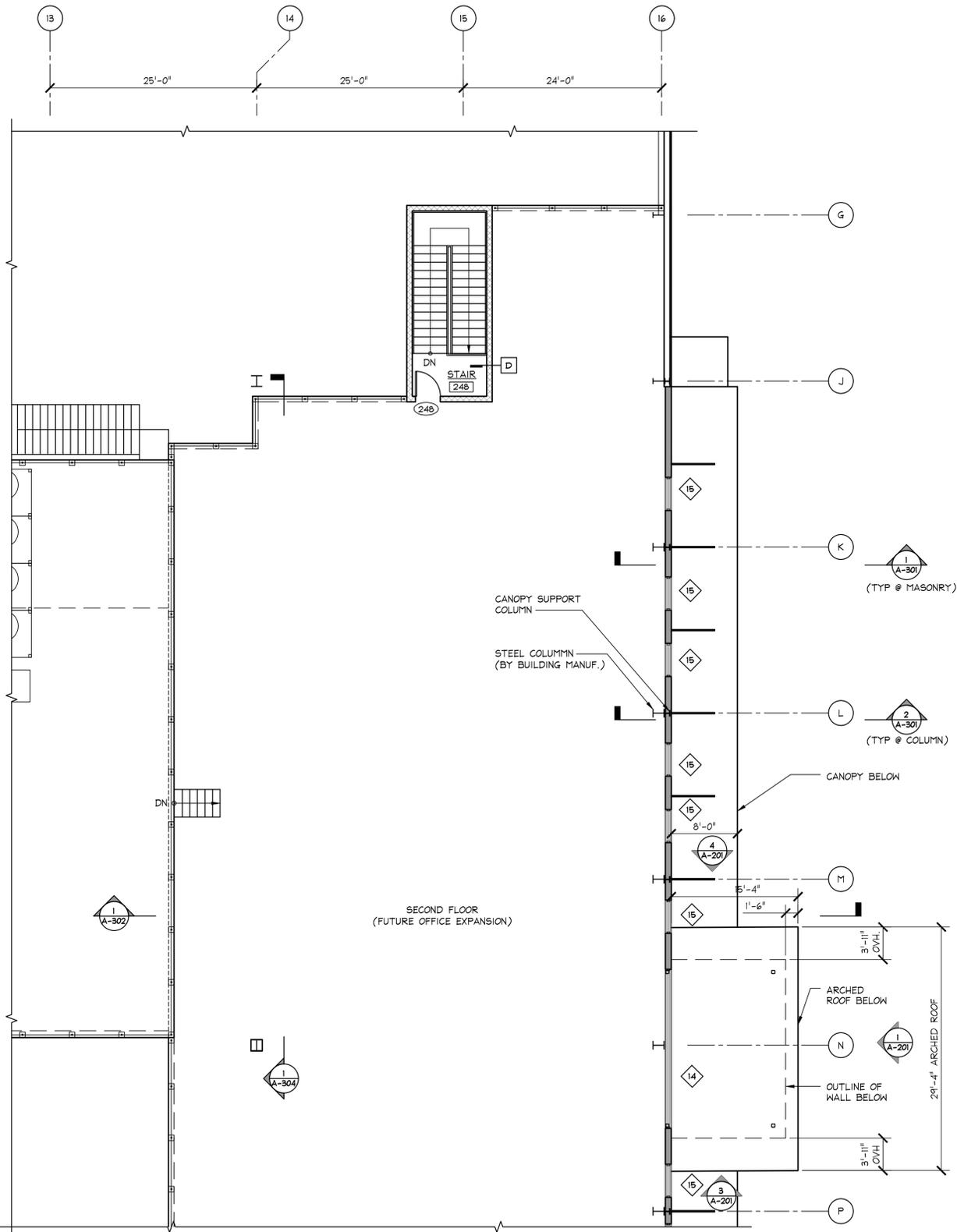
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DATE DRAWN: **01-27-22**
SCALE: **AS NOTED**
APV'D BY: _____

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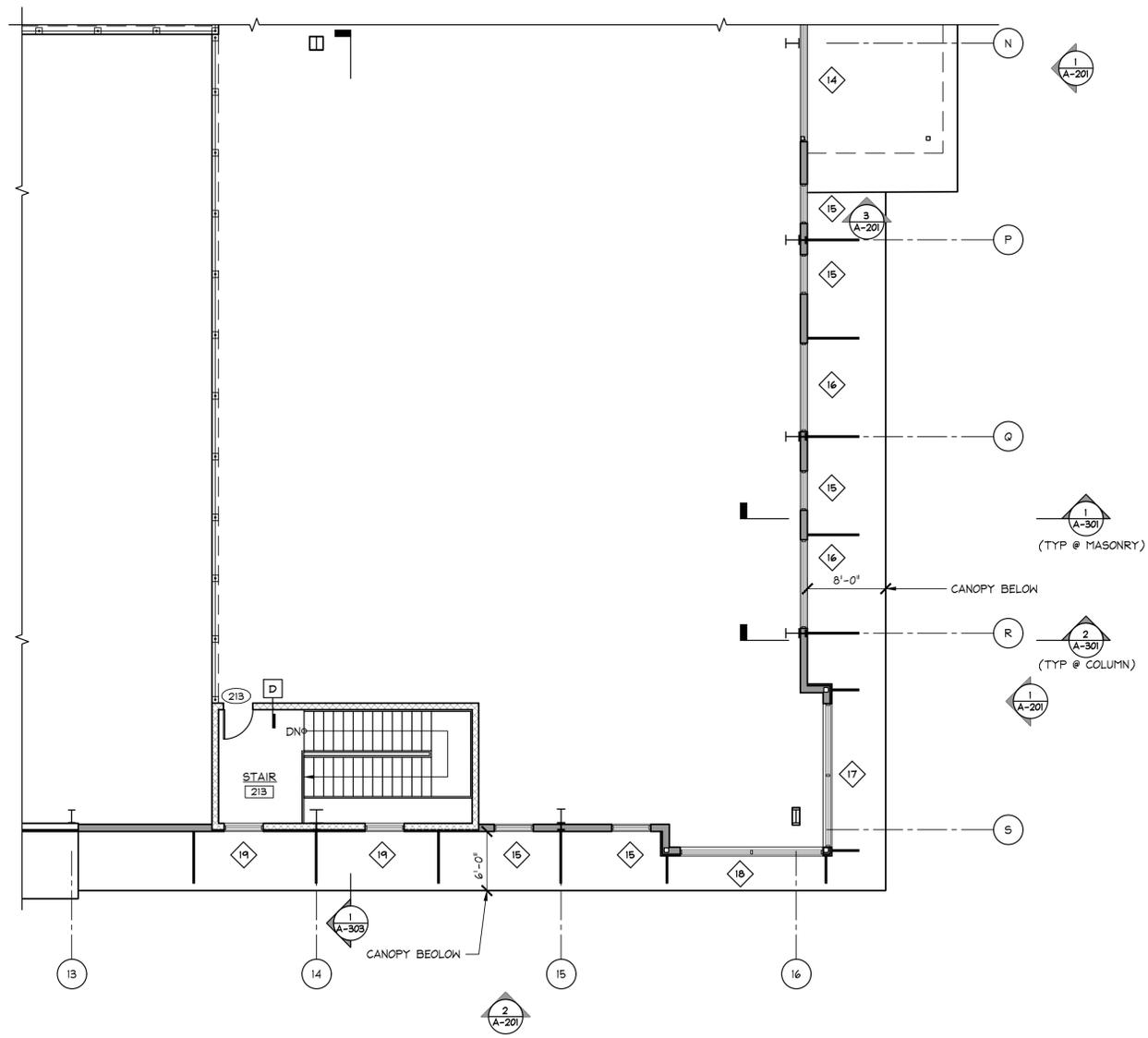
PROJECT NUMBER:
MI-2717-001

DRAWING NUMBER	REV.
A-401	B

PLAN NORTH



PLAN NORTH



PLOT DATE: 7/13/2022 12:50:27 PM USER: MARIANNE KOLODZIEJ FILENAME: S:\CAD\Current\MI-2717 NUPRO\SETUP\DRAWINGS\CAD Files\MI-2717-A-402.dwg

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CONSTRUCTION

REV.	DESCRIPTION	DATE
A	ISSUED FOR DOOR & HARDWARE PRICING	06/30/22
B	ISSUED FOR WINDOW PRICING	07/13/22

NUPRO
10 SANDY LANE
SOUTH DEERFIELD, MA 01373

PROJECT DESCRIPTION
NEW PRODUCTION BUILDING

DRAWING TITLE
ENLARGED SECOND FLOOR PLAN

DRAWN BY: **DB**

DATE DRAWN: **05/16/22**

SCALE: **AS NOTED**

APP'D BY: _____

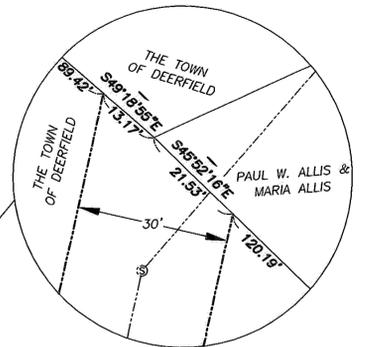
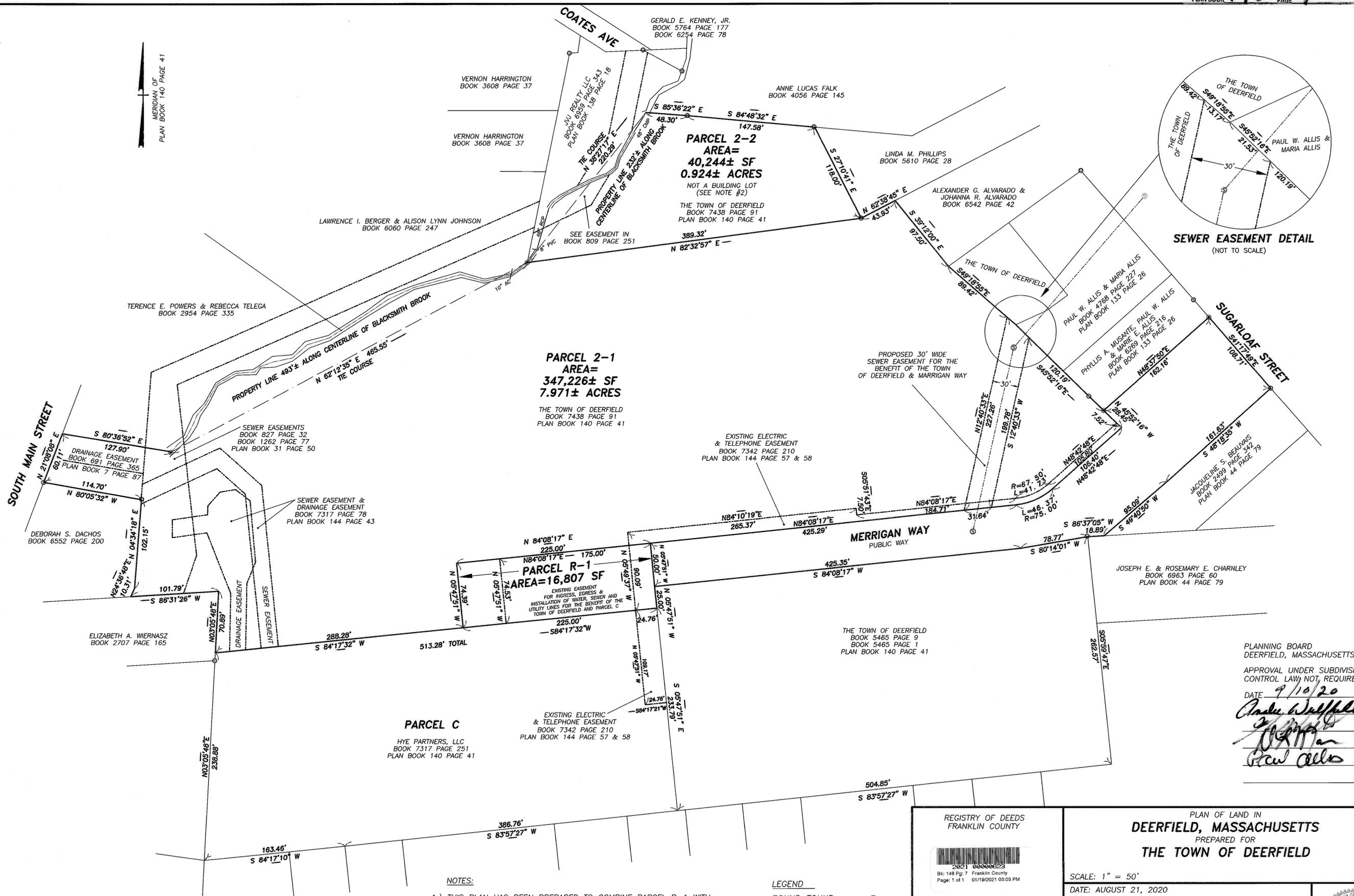
CAD CODE:
MI-2717-A-401.dwg

PROJECT NUMBER:
MI-2717-001

1 ENLARGED SECOND FLOOR PLAN
A-402 1/8"=1'-0" 0 4' 8' 16'

2 ENLARGED SECOND FLOOR PLAN (CONTINUED)
A-402 1/8"=1'-0" 0 4' 8' 16'

DRAWING NUMBER: **A-402**
REV.: **B**



PLANNING BOARD
 DEERFIELD, MASSACHUSETTS
 APPROVAL UNDER SUBDIVISION CONTROL LAW, NOT REQUIRED
 DATE 9/10/20
Andrew Wallfisch
[Signature]
[Signature]

THIS PLAN WERE PREPARED IN ACCORDANCE WITH THE RULES REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

8/21/20 *Bruce A. Combs*
 DATE REGISTERED LAND SURVEYOR

- NOTES:**
- 1.) THIS PLAN HAS BEEN PREPARED TO COMBINE PARCEL R-1 WITH MERRIGAN WAY WHICH IS A PUBLIC RIGHT OF WAY AND TO CREATE A SEWER EASEMENT WITHIN PARCEL 2-1.
 - 2.) PARCEL 2-2 IS NOT A BUILDING LOT. THIS PARCEL WILL BE CONVEYED BY THE TOWN OF DEERFIELD FOLLOWING A PROCUREMENT PROCESS.

- LEGEND**
- BOUND FOUND □
 - IRON PIPE FOUND ○
 - IRON ROD FOUND ●
 - SANITARY MANHOLE ⊙

REGISTRY OF DEEDS
 FRANKLIN COUNTY

2021 0000000223
 Bk: 148 Pg: 7 Franklin County
 Page: 1 of 1 01/19/2021 03:03 PM

PLAN OF LAND IN
DEERFIELD, MASSACHUSETTS
 PREPARED FOR
THE TOWN OF DEERFIELD

SCALE: 1" = 50'
 DATE: AUGUST 21, 2020

HERITAGE SURVEYS, INC.
 PROFESSIONAL SURVEYORS AND ENGINEERS
 241 COLLEGE HIGHWAY & CLARK STREET
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JOB # 8021-200129 DWG # 8021DE01 MAP # 8021-200821

