

PERMIT SET  
**NUPRO INDUSTRIAL  
 PROJECT DEVELOPMENT**  
**MERRIGAN WAY, S. DEERFIELD, MA**

APPLICANT:

**NUPRO LLC.**

10 SANDY LANE  
 DEERFIELD, MA 01373  
 413.397.3538

CONTRACTOR:

**ONE DEVELOPMENT & CONSTRUCTION LLC.**

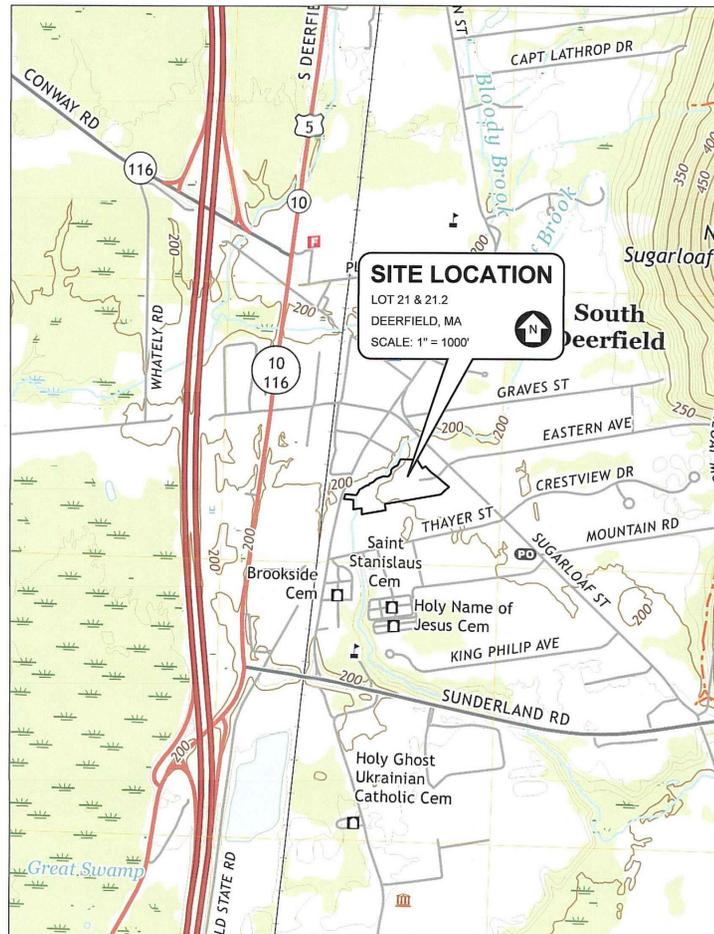
68 UNION ST  
 WESTFIELD, MA 01085  
 413.485.4060

PREPARED BY:

**SVE**

Engineering  
 Planning  
 Landscape Architecture  
 Surveying

SVE Associates  
 P.O. Box 1818  
 439 West River Road  
 Brattleboro, VT 05302  
 T 802.257.0561  
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*Mark Stadnicki* 8-26-22  
 MARK STADNICKI  
 R.C.E. NUMBER: 55402 DATE

GENERAL

- 1. APPROVAL OF THESE PLANS BY THE CITY/TOWN ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL "A PERMIT" IS ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE TOWN OF DEERFIELD DOES NOT AUTHORIZE THE SUBDIVIDER, OWNER AND CONTRACTOR TO VIOLATE ANY FEDERAL, STATE OR LOCAL LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION.

EROSION AND SEDIMENT CONTROL

- 1. PROVIDE GRAVEL CHEVRONS IMMEDIATELY UPSTREAM OF DRAINAGE INLETS AS INDICATED ON DETAILS.
2. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.

WATER NOTES

- 1. WATER SYSTEM CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE SOUTH DEERFIELD WATER SUPPLY DISTRICT WATER SYSTEM CONSTRUCTION STANDARDS. BEFORE WORK BEGINS ON THE WATER SYSTEM, THE WATER DEPARTMENT SUPERINTENDENT SHALL BE NOTIFIED AT LEAST 72 HOURS NOTICE IN ADVANCE OF CONSTRUCTION IS REQUIRED.
2. PRIOR TO BACKFILLING, ALL WATER MAINS, VALVES AND SERVICE CONNECTIONS SHALL BE INSPECTED BY THE SOUTH DEERFIELD WATER SUPPLY DISTRICT. THE CONTRACTOR PERFORMING THE INSPECTION SHALL NOTIFY THE CITY/TOWN WHEN THE WATER LINE IS READY TO BE PRESSURE TESTED AND DISINFECTED SO CITY/TOWN MAY BE PRESENT.

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE TOWN OF DEERFIELD AND THE SOUTH DEERFIELD WATER SUPPLY DISTRICT.

DIG SAFE

OTHER UNKNOWN UTILITIES MAY LIKELY BE PRESENT THAT ARE NOT SHOWN ON THE PLAN. THE CONTRACTOR SHALL CONTACT (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION

NPDES NOTE

IN ACCORDANCE WITH THE CLEAN WATER ACT THIS PROJECT IS REQUIRED TO OBTAIN COVERAGE UNDER THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.). A NOTICE OF INTENT SHALL BE FILED WITH THE E.P.A. AND A STORM WATER POLLUTION PREVENTION PLAN SHALL BE REQUIRED PRIOR TO CONSTRUCTION.

STANDARD SPECIFICATIONS

- 1. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (2006 EDITION)
2. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS (2003 EDITION)
3. STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, MASSACHUSETTS HIGHWAY DEPARTMENT (CURRENT EDITION)
4. STANDARD SPECIFICATIONS FOR TOWN OF DEERFIELD & SOUTH DEERFIELD WATER SUPPLY DISTRICT.

GRADING QUANTITIES

Table with 2 columns: Description and Quantity. Includes GRADED AREA: .17.7 [ACRES], CUT QUANTITIES: .115,993 [CYD], FILL QUANTITIES: .116,419 [CYD], IMPORT: .1426 [CYD]

THESE QUANTITIES ARE APPROXIMATE ONLY AND ARE FOR PERMIT PURPOSES ONLY. QUANTITIES SHOULD NOT BE USED FOR CONTRACTOR PAY QUANTITIES.

ROCK EXCAVATION IS NOT ANTICIPATED FOR THIS DEVELOPMENT.

IF ROCK IS ENCOUNTERED, ROCK EXCAVATION SHALL BE DONE IN ACCORDANCE WITH MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS SECTION 120.

BENCHMARK DATA

(1) BENCHMARK(S) EXIST ON THE SITE, THEY ARE BASED ON NAD83

BENCHMARK #1
LOCATION DESCRIPTION: CL DOORWAY OF THE WESTERN OVERHEAD DOOR TO THE TOWN GARAGE
POINT DESCRIPTION: GAR DOOR TOWN GARAGE
ELEVATION: 202.1'

EXISTING CONDITION, TOPOGRAPHY AND BOUNDARY INFORMATION

BOUNDARY INFORMATION IS BASED ON A PLAN OF LAND IN DEERFIELD, MA PREPARED FOR THE TOWN OF DEERFIELD, PREPARED BY BY HERITAGE SURVEYS, INC., DATED AUGUST 21, 2020. RECORDED IN THE FRANKLIN COUNTY REGISTRY OF DEEDS, JANUARY 19, 2021, PLAN BOOK 148, PAGE 7.

EXISTING CONDITIONS BASED ON COMPILED DATA FROM A SURVEY CONDUCTED BY SHERMAN & FRYDRYK, LLC: 3 CONVERSE STREET, SUITE 203, PALMER MA. (413)283-6210; PROJECT NO. 14150; LAST REVISED 12/11/14. TOPOGRAPHIC SURVEY CONDUCTED BY SVE ASSOCIATES IN 2018, AND 2022, ALONG WITH PROJECT INFORMATION FROM THE DUMONT INDUSTRIAL PROJECT DEVELOPMENT, DESIGNED BY SVE ASSOCIATES LAST REVISED 10/31/18.

UTILITY INFORMATION

CONTRACTOR SHALL BE AWARE THAT THE UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON AVAILABLE INFORMATION. OTHER UNKNOWN UTILITIES MAY LIKELY BE PRESENT THAT ARE NOT SHOWN ON THE PLAN. THE CONTRACTOR SHALL CONTACT, AT LEAST 72 HOURS PRIOR TO CONSTRUCTION, DIG SAFE, TOWN OF DEERFIELD PUBLIC WORKS DEPARTMENT, ELECTRIC AND TELEPHONE UTILITY SERVICE PROVIDER TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR STARTING CONSTRUCTION.

WETLAND BOUNDARY INFORMATION

WETLAND RESOURCE AREAS DELINEATED BY NEW ENGLAND ENVIRONMENTAL, INC. ON 9/17/14 AND 9/22/14, A DETERMINATION OF APPLICABILITY WAS ISSUED BY THE DEERFIELD CONSERVATION COMMISSION ON 11/24/14 TO APPROVE THE DELINEATION PERFORMED BY NEE, INC. WARD SMITH OF WENDELL WETLAND SERVICES VISITED THE SITE IN JANUARY 2022 AND DETERMINED THE PREVIOUS DELINEATION TO BE CONCURRENT WITH CURRENT CONDITIONS.

FLOOD PLAIN INFORMATION

PROPERTY AS SHOWN LIES WITHIN FLOOD INSURANCE RATE MAP REFERENCED DIRECTLY BELOW AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA):

NUMBER 250115 0006 b, DATED JULY 2, 1980.

THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE "C."

GENERAL PROPERTY INFORMATION

OWNER: NUPRO LLC
8 SANDY LANE STREET
S. DEERFIELD, MA 01373

ZONING DESIGNATION: EPD - EXPEDITED PERMITTING DISTRICT

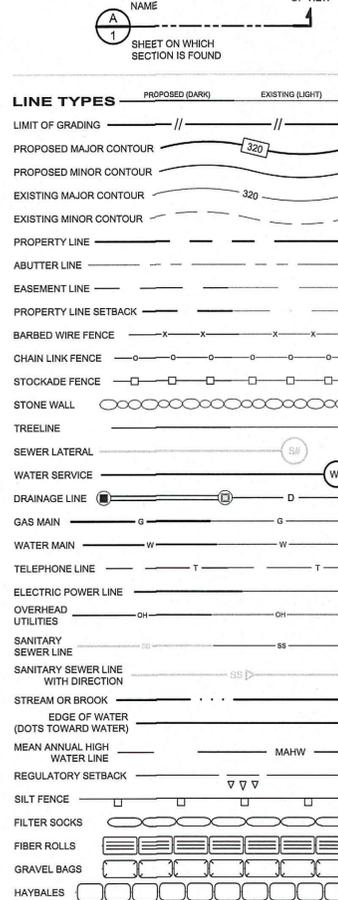
Table with 3 columns: Description, Required, Provided. Includes MIN. LOT AREA: N/A, PROJECT AREA: 18.9 ACRES, LEGAL DESCRIPTION(S): BOOK 8052, PAGE 32 (LOT 21), FRONT SETBACK: 25', MAX LOT COVERAGE: 80%

APPLICANT & CONTRACTOR INFORMATION

APPLICANT: NUPRO, LLC
10 SANDY LN
DEERFIELD, MA 01373
413.397.3538

CONTRACTOR: ONE DEVELOPMENT & CONSTRUCTION, LLC.
68 UNION ST
WESTFIELD, MA 01085
413.485.4060

SECTIONS



MISCELLANEOUS symbols including BONDED FIBER MATRIX WITH HYDROSEED, STRAW MAT, RIP RAP, ROCK DAM, DRAINAGE FLOW ARROW, POINTS (EXIST/PROP) for GUY POLE/WIRE, LIGHT POLE, METER, ELECTRICAL BOX, CABLE TV BOX, TELEPHONE PEDESTAL, UTILITY BOX, UTILITY VAULT, WATER WELL, SIGN, MONITORING WELL, TIE, PERC TEST, HAND BORING, WETLANDS FLAG, MAIL BOX, MONUMENT, UNMARKED POINT, BENCHMARK, SEWER MANHOLE, DRAINAGE MANHOLE, TELEPHONE MANHOLE, ELECTRICAL MANHOLE, WATER MANHOLE, UNKNOWN MANHOLE, CATCH BASIN, LEACHING BASIN, GAS VALVE, FIRE HYDRANT, UTILITY POLE.

ABBREVIATIONS

Table of abbreviations: IP - IRON PIPE / PIN, GMON - GRANITE MONUMENT, CMON - CONCRETE MONUMENT, MHB - MASSACHUSETTS HIGHWAY BOUND, DH - PIN IN LEAD, P.I.L. - PROPOSED CATCH BASIN, PLB - PROPOSED LEACHING BASIN, PDMH - PROPOSED DRAINAGE MANHOLE, PSMH - PROPOSED SANITARY SEWER MANHOLE, PTMH - PROPOSED TELECOMM MANHOLE, PEMH - PROPOSED ELECTRIC MANHOLE, WM - WATER MAIN, GAS - GAS MAIN / LINE, ST - SANITARY SEWER, STM - STORM / DRAINAGE SEWER, OH - OVERHEAD, UGD - UNDERGROUND, CB - EXISTING CATCH BASIN, LB - EXISTING LEACHING BASIN, DMH - EXISTING DRAINAGE MANHOLE, SMH - EXISTING SEWER MANHOLE, TMH - EXISTING TELECOMM MANHOLE, EMH - EXISTING ELECTRIC MANHOLE, MH - UNKNOWN MANHOLE, INV / IE - INVERT / INVERT ELEVATION, TO - TOP OF GRATE ELEVATION, RIM - STRUCTURE RIM ELEVATION, FL - FLOW LINE ELEVATION, HOPE - HIGH DENSITY POLYETHYLENE PIPE, RCP - REINFORCED CONCRETE PIPE, PVC - POLYVINYL CHLORIDE PIPE, CMP - CORRUGATED METAL PIPE, ACCMP - ASPHALT COATED CORRUGATED METAL PIPE, VC - VITREOUS CLAY PIPE, AC - ASBESTOS CONCRETE PIPE (TRANSITE), DI - DUCTILE IRON PIPE, PROP - PROPOSED, EXIST - EXISTING, CONC - CONCRETE, RET - RETAINING, ROW - RIGHT-OF-WAY, CL - CENTERLINE, EL - ELEVATION, EP / EP - EDGE OF PAVEMENT, BB - BITUMINOUS BERM CURBING, EB - GRANITE CURBING, CC - CONCRETE CURBING, TYP - TYPICAL, NW - NOW OR FORMERLY, WF - WOOD FRAME, TBM - TEMPORARY BENCHMARK, BM - BENCHMARK, PL - PROPERTY LINE, EASE - EASEMENT / EASEMENT LINE, SETB - PROPERTY / LOT LINE SETBACK LINE, WET - WETLAND, BWW - BORDERING VEGETATED WETLAND, RA - RIVER FRONT RESOURCE AREA, EOW - EDGE OF WATER, EOWET - EDGE OF WETLANDS, MAHW - MEAN ANNUAL HIGH WATER, WETSET - WETLAND SETBACK LINE, PT - PERCOLATION TEST SITE, TP - SOIL TEST PIT, BOR - BORING, MW - MONITOR WELL, SF - SILT FENCE, CHLF - CHAIN LINK FENCE, STOCK - STOCKADE FENCE, BWF - BARBED WIRE FENCE, STWL - STONE WALL

TABLE OF CONTENTS

COVER SHEET 00
STANDARD NOTES, LEGEND, & TABLE OF CONTENTS SHEET 01
EXISTING CONDITION PLAN SHEET 02
DEMOLITION PLAN SHEET 03
SITE PLAN SHEET 04
GRADING PLAN SHEET 05
UTILITY PLAN SHEET 06
EROSION CONTROL PLAN SHEET 07
LANDSCAPE & RIVERFRONT RESTORATION PLAN SHEET 08
DETAILS - 1 SHEET 09
DETAILS - 2 SHEET 10
DETAILS - 3 SHEET 11
DETAILS - 4 SHEET 12
OVERALL FIRST FLOOR PLAN SHEET A-10
OVERALL SECOND FLOOR MEZZANINE PLAN SHEET A-102
EXTERIOR ELEVATIONS (OFFICE AREA) SHEET A-20
ENLARGED FLOOR PLAN (OFFICE AREA) SHEET A-40
ENLARGED SECOND FLOOR PLAN SHEET A-402
RECORDED BOUNDARY PLAN SHEET 81
PHOTOMETRIC PLAN SHEET P1

Professional Engineer Seal for Mark Stadnicki, No. 55402, Registered Professional Engineer. Signature and date 8/24/22. Text: MARK STADNICKI DATE, R.C.E. NUMBER: 55402. Large text: FOR PERMITTING. Table with columns: NO., REVISION, DATE, DWG, CHK.

SVE Engineering Planning Landscape Architecture Surveying. SVE Associates P.O. Box 1818 439 West River Road Brattleboro, VT 05302 T 802.257.0561 F 802.257.0721 www.sveassoc.com

STANDARD NOTES, LEGEND, & TABLE OF CONTENTS. NUPRO INDUSTRIAL PROJECT DEVELOPMENT. ONE DEVELOPMENT & CONSTRUCTION, LLC. 68 UNION STREET WESTFIELD, MA 01085

PROJ. #: G2073. DATE: 22-AUG-22. SHEET 1/12. DESIGN: MJS, DRAWN: MJS, CHECKED: MJS.

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DATE: 8-26-22  
MARK STADNICKI  
R.C.E. NUMBER: 55402

**FOR PERMITTING**

CHK	
DWN	
DATE	
REVISION	
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**SITE PLAN**

NUPRO INDUSTRIAL  
PROJECT DEVELOPMENT

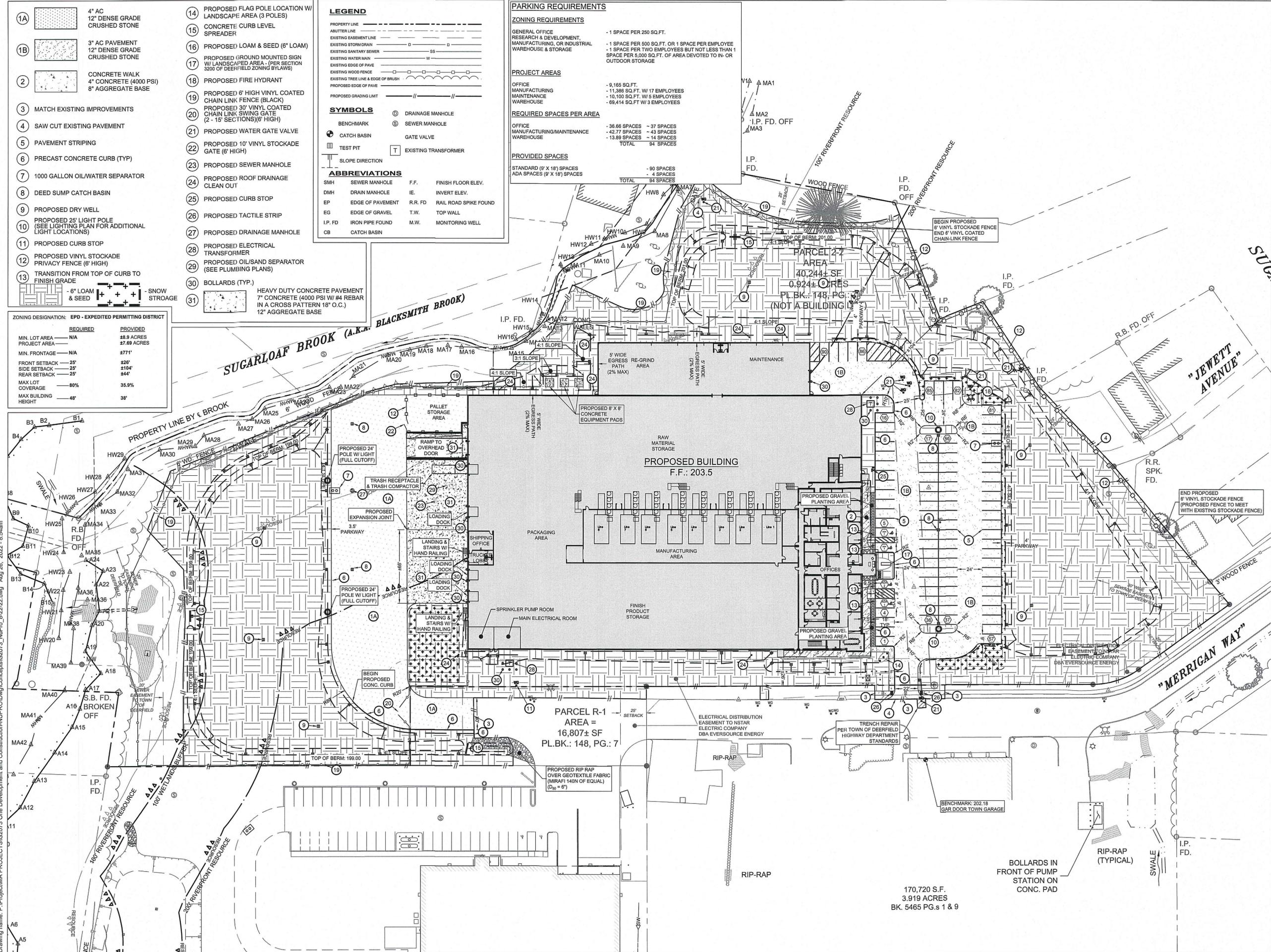
ONE DEVELOPMENT & CONSTRUCTION, LLC.  
68 UNION STREET  
WESTFIELD, MA 01085

0 20 40 80  
GRAPHIC SCALE 1" = 40'

**N**

PROJ. #: G2073  
DATE: 22-AUG-22  
DESIGN: MJS  
DRAWN: MJS  
CHECKED: MJS

SHEET  
**4** / 12



**PARKING REQUIREMENTS**

**ZONING REQUIREMENTS**

GENERAL OFFICE  
RESEARCH & DEVELOPMENT,  
MANUFACTURING, OR INDUSTRIAL  
WAREHOUSE & STORAGE

- 1 SPACE PER 250 SQ. FT.  
- 1 SPACE PER 500 SQ. FT. OR 1 SPACE PER EMPLOYEE  
- 1 SPACE PER TWO EMPLOYEES BUT NOT LESS THAN 1  
SPACE PER 5,000 SQ. FT. OF AREA DEVOTED TO IN- OR  
OUTDOOR STORAGE

**PROJECT AREAS**

OFFICE  
MANUFACTURING  
MAINTENANCE  
WAREHOUSE

- 9,165 SQ. FT.  
- 11,386 SQ. FT. W/ 17 EMPLOYEES  
- 10,100 SQ. FT. W/ 5 EMPLOYEES  
- 69,414 SQ. FT. W/ 3 EMPLOYEES

**REQUIRED SPACES PER AREA**

OFFICE  
MANUFACTURING/MAINTENANCE  
WAREHOUSE

- 36.96 SPACES - 37 SPACES  
- 42.77 SPACES - 43 SPACES  
- 13.89 SPACES - 14 SPACES  
TOTAL 84 SPACES

**PROVIDED SPACES**

STANDARD (9' X 18') SPACES - 90 SPACES  
ADA SPACES (9' X 18') SPACES - 4 SPACES  
TOTAL 84 SPACES

**LEGEND**

PROPERTY LINE  
ADJUTER LINE  
EXISTING EASEMENT LINE  
EXISTING STORM DRAIN  
EXISTING SANITARY SEWER  
EXISTING WATER MAIN  
EXISTING EDGE OF PAVEMENT  
EXISTING WOOD FENCE  
EXISTING TREE LINE & EDGE OF BRUSH  
PROPOSED EDGE OF PAVEMENT  
PROPOSED GRADING LIMIT

**SYMBOLS**

⊕ DRAINAGE MANHOLE  
⊙ SEWER MANHOLE  
⊕ CATCH BASIN  
⊕ TEST PIT  
— SLOPE DIRECTION

⊕ BENCHMARK  
⊕ GATE VALVE  
⊕ EXISTING TRANSFORMER

**ABBREVIATIONS**

SMH SEWER MANHOLE F.F. FINISH FLOOR ELEV.  
DMH DRAIN MANHOLE I.E. INVERT ELEV.  
EP EDGE OF PAVEMENT R.R. FD RAIL ROAD SPIKE FOUND  
EG EDGE OF GRAVEL T.W. TOP WALL  
I.P. FD IRON PIPE FOUND M.W. MONITORING WELL  
CB CATCH BASIN

- 1A 4" AC 12" DENSE GRADE CRUSHED STONE
- 1B 3" AC PAVEMENT 12" DENSE GRADE CRUSHED STONE
- 2 CONCRETE WALK 4" CONCRETE (4000 PSI) 8" AGGREGATE BASE
- 3 MATCH EXISTING IMPROVEMENTS
- 4 SAW CUT EXISTING PAVEMENT
- 5 PAVEMENT STRIPING
- 6 PRECAST CONCRETE CURB (TYP)
- 7 1000 GALLON OIL/WATER SEPARATOR
- 8 DEED SUMP CATCH BASIN
- 9 PROPOSED DRY WELL
- 10 PROPOSED 25' LIGHT POLE (SEE LIGHTING PLAN FOR ADDITIONAL LIGHT LOCATIONS)
- 11 PROPOSED CURB STOP
- 12 PROPOSED VINYL STOCKADE PRIVACY FENCE (6' HIGH)
- 13 TRANSITION FROM TOP OF CURB TO FINISH GRADE
- 14 PROPOSED FLAG POLE LOCATION W/ LANDSCAPE AREA (3 POLES)
- 15 CONCRETE CURB LEVEL SPREADER
- 16 PROPOSED LOAM & SEED (6" LOAM)
- 17 PROPOSED GROUND MOUNTED SIGN W/ LANDSCAPED AREA - (PER SECTION 3200 OF DEERFIELD ZONING BYLAWS)
- 18 PROPOSED FIRE HYDRANT
- 19 PROPOSED 6" HIGH VINYL COATED CHAIN LINK FENCE (BLACK)
- 20 PROPOSED 30' VINYL COATED CHAIN LINK SWING GATE (2 - 15' SECTIONS)(6' HIGH)
- 21 PROPOSED WATER GATE VALVE
- 22 PROPOSED 10' VINYL STOCKADE GATE (6' HIGH)
- 23 PROPOSED SEWER MANHOLE
- 24 PROPOSED ROOF DRAINAGE CLEAN OUT
- 25 PROPOSED CURB STOP
- 26 PROPOSED TACTILE STRIP
- 27 PROPOSED DRAINAGE MANHOLE
- 28 PROPOSED ELECTRICAL TRANSFORMER
- 29 PROPOSED OIL/SAND SEPARATOR (SEE PLUMBING PLANS)
- 30 BOLLARDS (TYP.)
- 31 HEAVY DUTY CONCRETE PAVEMENT 7" CONCRETE (4000 PSI W/ #4 REBAR IN A CROSS PATTERN 18" O.C.) 12" AGGREGATE BASE

**ZONING DESIGNATION: EPD - EXPEDITED PERMITTING DISTRICT**

REQUIRED	PROVIDED
MIN. LOT AREA	N/A
PROJECT AREA	28.9 ACRES
MIN. FRONTAGE	2771'
FRONT SETBACK	25'
SIDE SETBACK	25'
REAR SETBACK	25'
MAX LOT COVERAGE	60%
MAX BUILDING HEIGHT	48'

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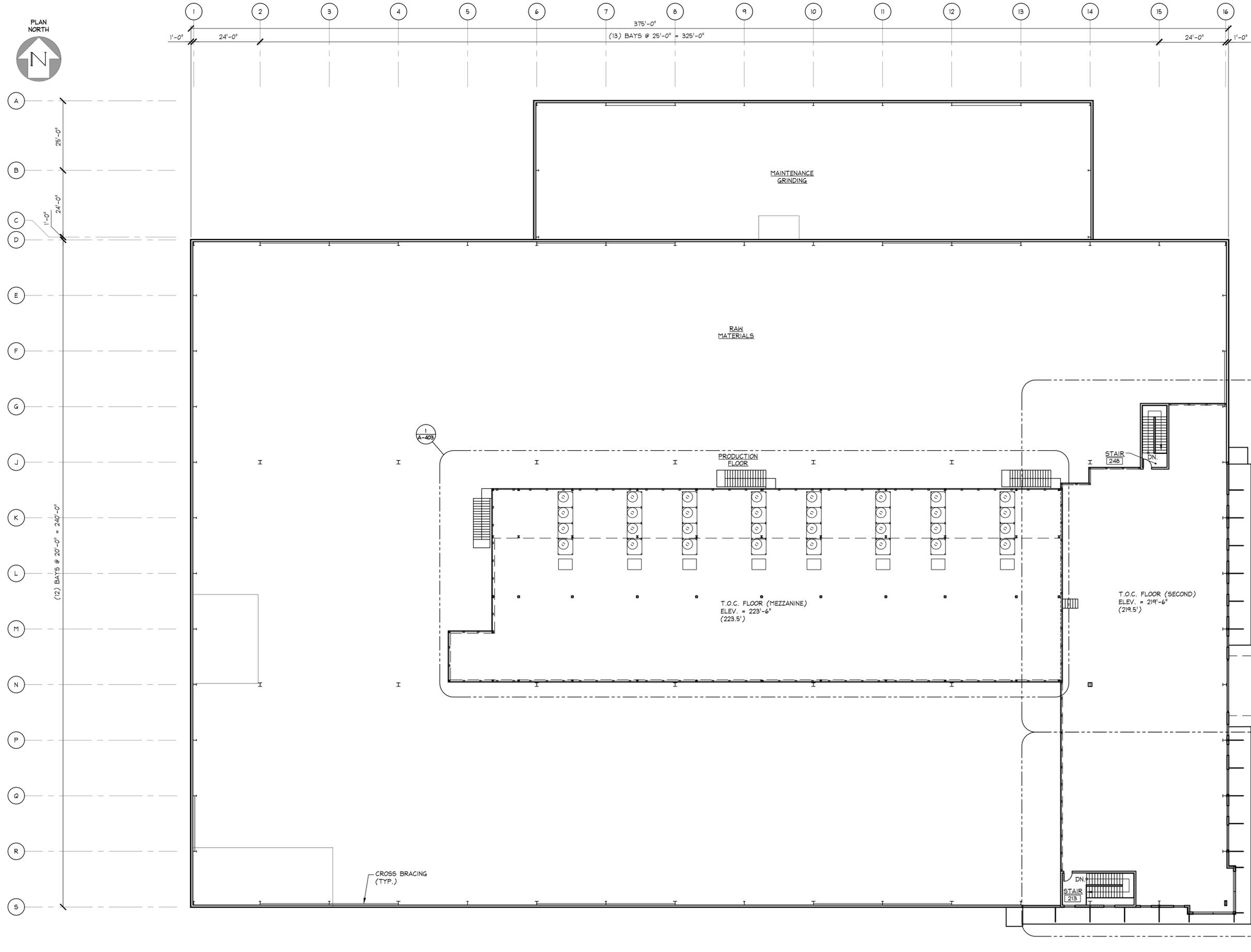








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(413) 743-0013  
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**PRELIMINARY**

NOT TO BE  
USED FOR  
CONSTRUCTION

REV.	DESCRIPTION	DATE
A	ISSUED FOR DOOR & HARDWARE PRICING	06/30/22
B	ISSUED FOR WINDOW PRICING	07/13/22

**NUPRO**  
10 SANDY LANE  
SOUTH DEERFIELD, MA 01373

PROJECT DESCRIPTION  
**NEW PRODUCTION BUILDING**

DRAWING TITLE  
**OVERALL SECOND FLOOR/MEZZANINE PLAN**

DRAWN BY: **DB**

DATE DRAWN: **05/19/22**

SCALE: **AS NOTED**

APP'D BY: \_\_\_\_\_

CAD CODE:  
**MI-2717-A-102.dwg**

GRAPHIC SCALE:

PROJECT NUMBER:  
**MI-2717-001**

DRAWING NUMBER	REV.
<b>A-102</b>	<b>B</b>

**I** SECOND FLOOR / MEZZANINE PLAN

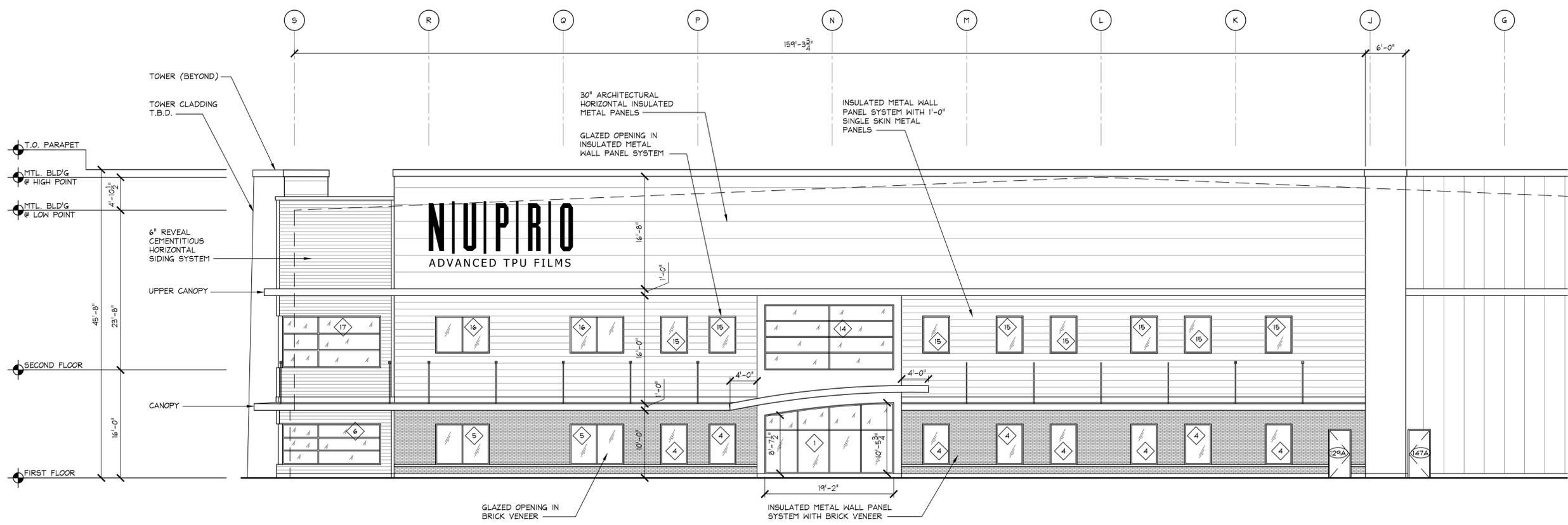
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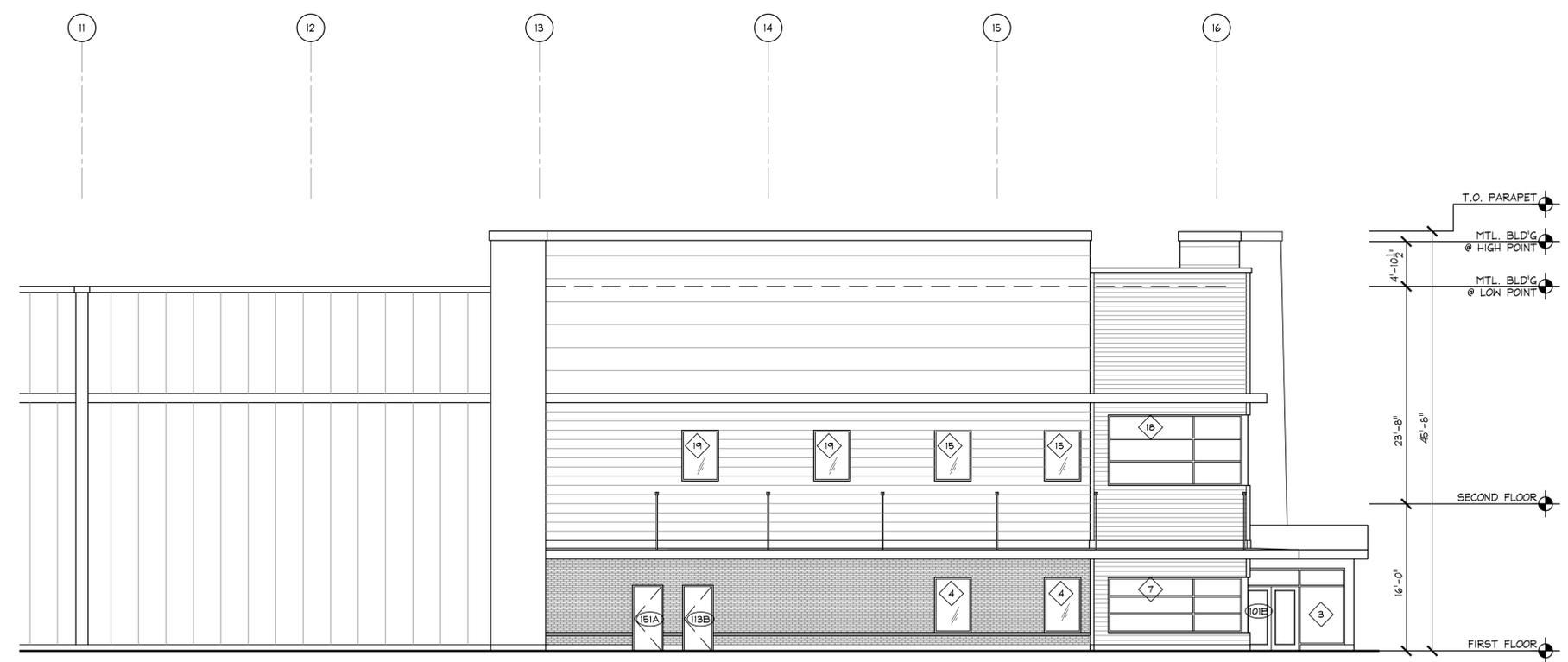
NOT TO BE  
USED FOR  
CONSTRUCTION

REV.	DESCRIPTION	DATE
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B	ISSUED FOR WINDOW PRICING	07/13/22

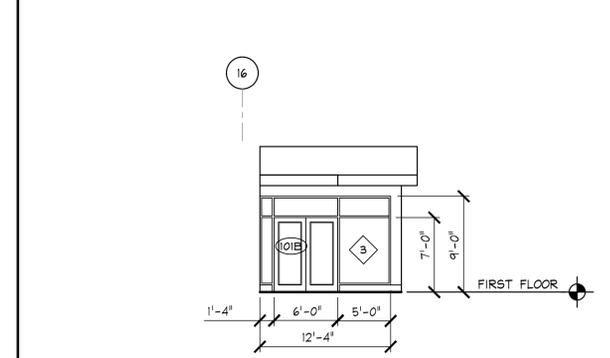
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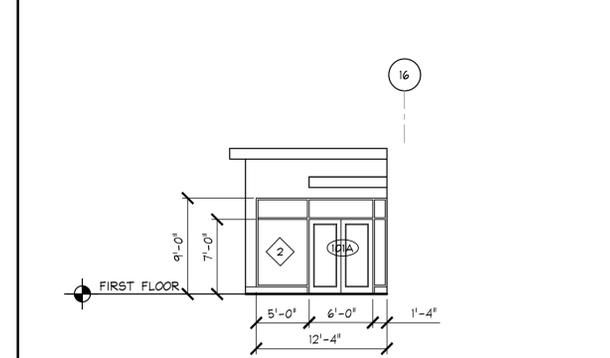
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2 EXTERIOR ELEVATION  
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3 EXTERIOR ELEVATION  
A-201 1/8"=1'-0" 0 4' 8' 16'



4 EXTERIOR ELEVATION  
A-201 1/8"=1'-0" 0 4' 8' 16'

**NUPRO**  
10 SANDY LANE  
SOUTH DEERFIELD, MA 01373

PROJECT DESCRIPTION  
**NEW PRODUCTION BUILDING**

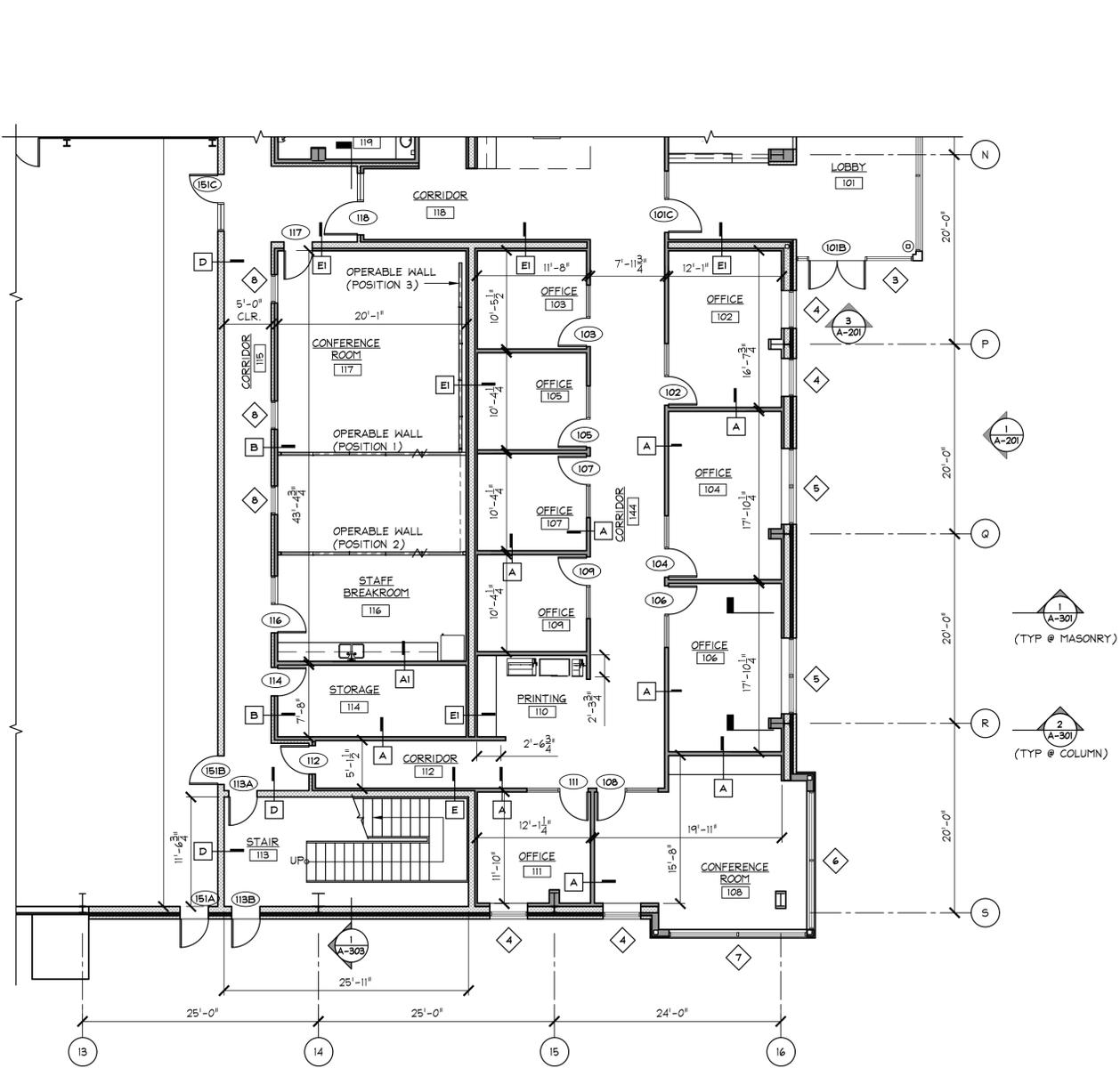
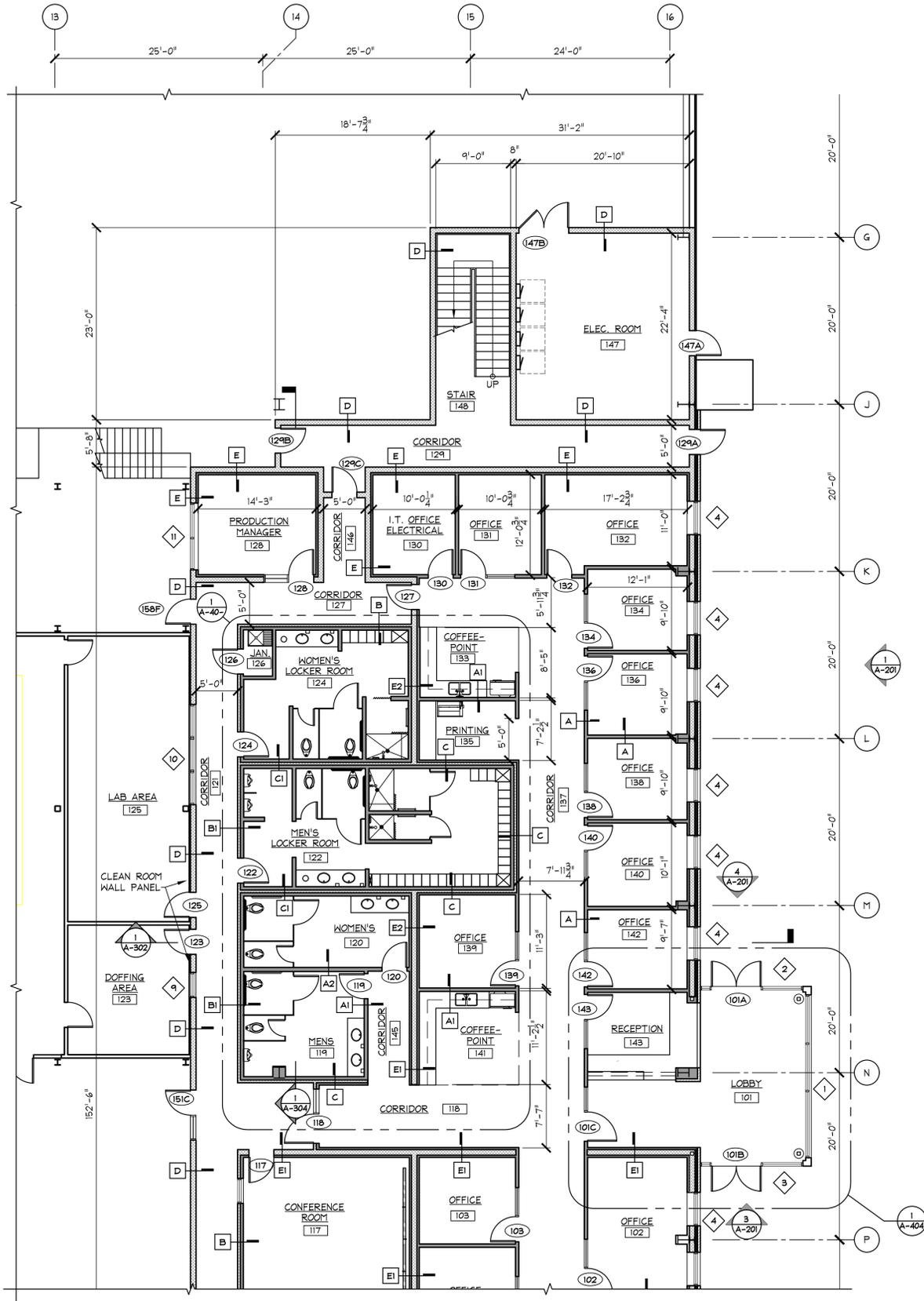
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**EXTERIOR ELEVATIONS (OFFICE AREA)**

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DATE DRAWN: **05/05/22**  
SCALE: **AS NOTED**  
APP'D BY:

CAD CODE:  
**MI-2717-001-A-201.dwg**

PROJECT NUMBER:  
**MI-2717-001**

DRAWING NUMBER: **A-201** REV: **B**



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1 ENLARGED FLOOR PLAN  
A-401 1/8"=1'-0" 0 4' 8' 16'

2 ENLARGED FLOOR PLAN (CONTINUED)  
A-401 1/8"=1'-0" 0 4' 8' 16'

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**PRELIMINARY**

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REV.	DESCRIPTION	DATE	DRN. CKD.
A	ISSUED FOR DOOR & HARDWARE PRICING	06/30/22	MTK
B	ISSUED FOR WINDOW PRICING	07/13/22	MTK

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**NUPRO**  
10 SANDY LANE  
SOUTH DEERFIELD, MA 01373  
PROJECT DESCRIPTION  
**NEW PRODUCTION BUILDING**  
DRAWING TITLE  
**ENLARGED FLOOR PLAN (OFFICE AREA)**

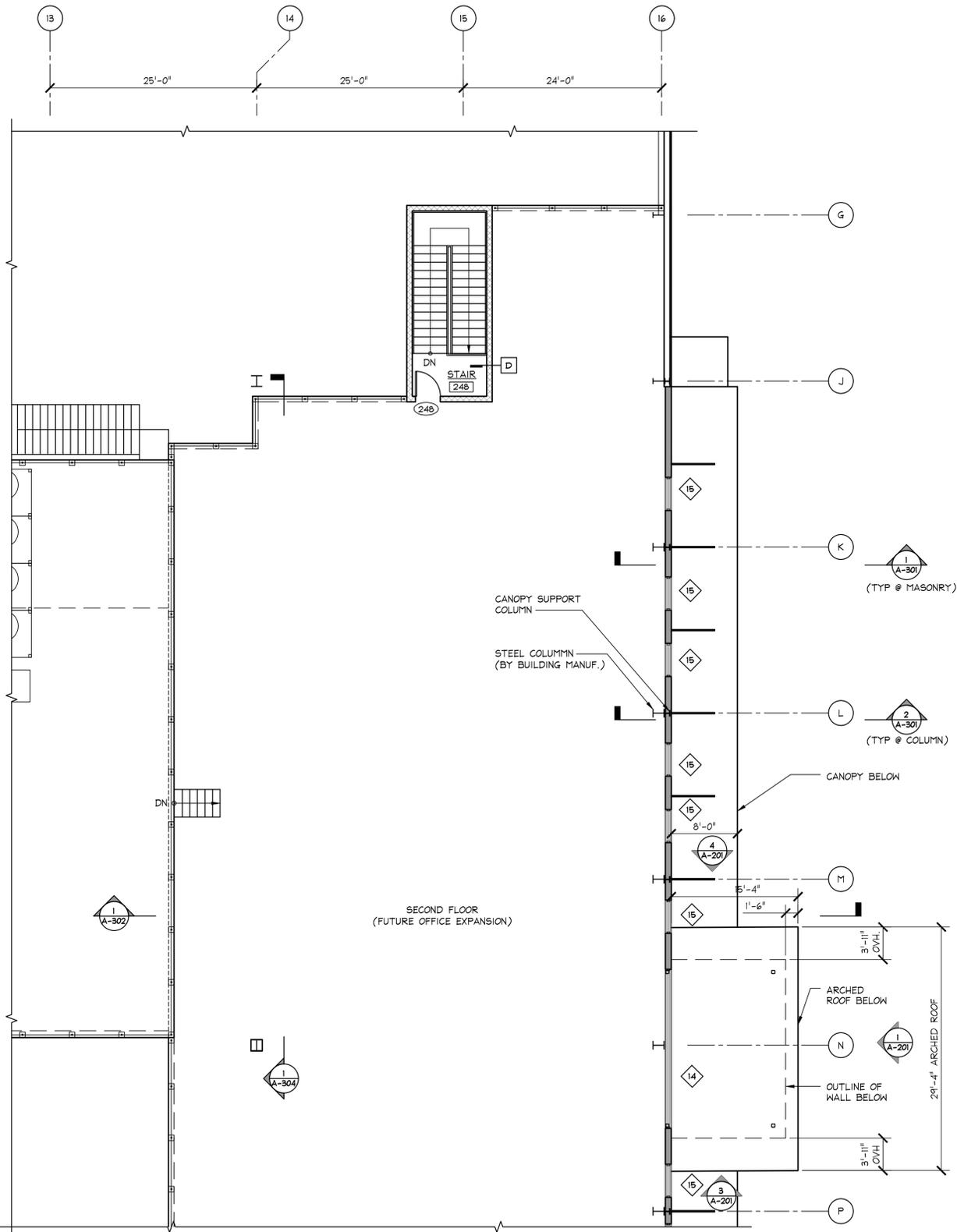
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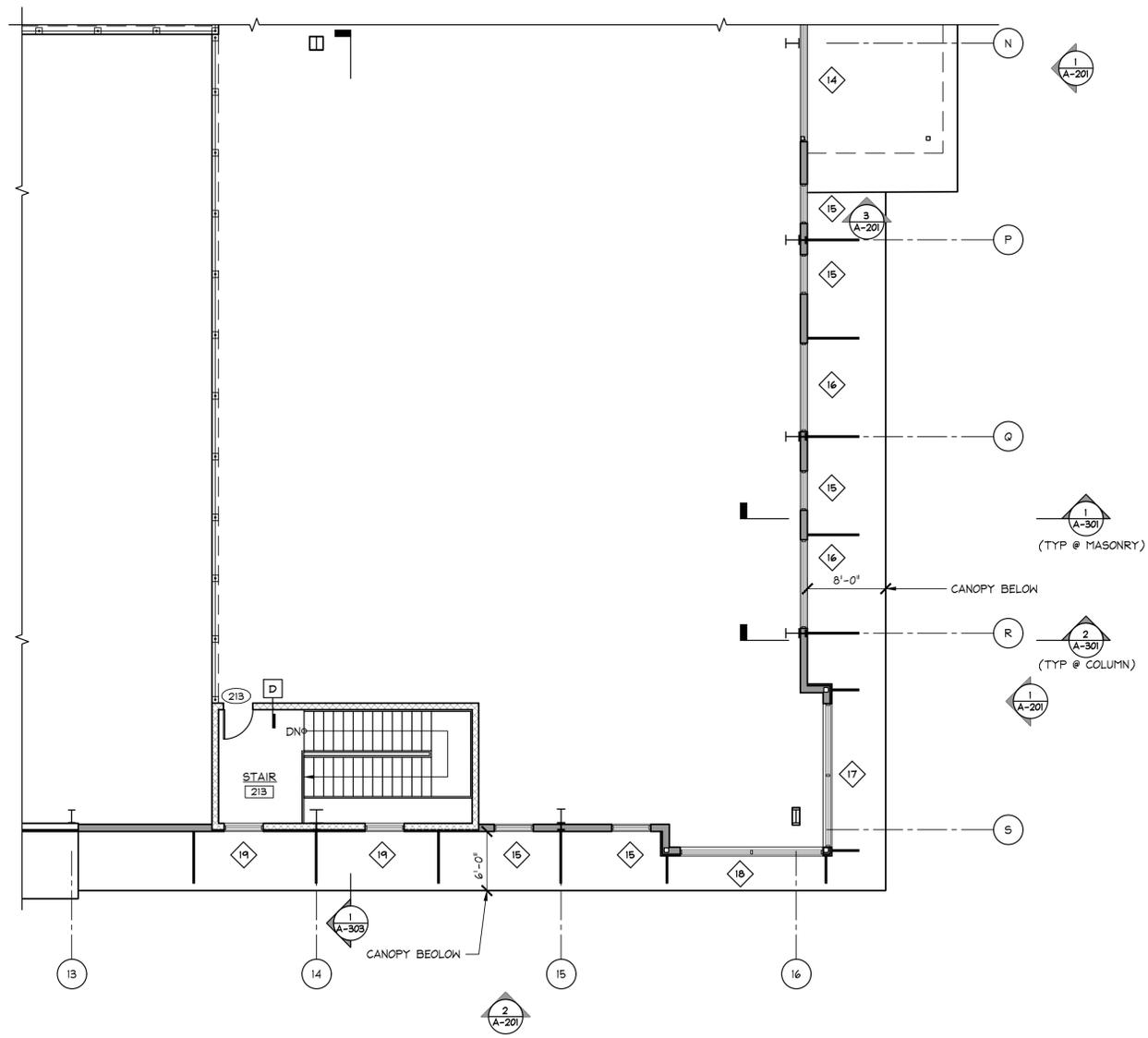
PROJECT NUMBER:  
**MI-2717-001**

DRAWING NUMBER	REV.
A-401	B

PLAN NORTH



PLAN NORTH



PLOT DATE: 7/13/2022 12:50:27 PM USER: MARIANNE KOLODZIEJ FILENAME: S:\CAD\Current\MI-2717 NUPRO\SETUP\DRAWINGS\CAD Files\MI-2717-A-402.dwg

**Hill**  
engineers  
architects  
planners

50 Depot Street  
Dalton, MA 01226  
(413) 684-0925

44 Spring Street  
Adams, MA 01220  
(413) 743-0013  
www.hillengineers.com

**PRELIMINARY**

NOT TO BE  
USED FOR  
CONSTRUCTION

REV.	DESCRIPTION	DATE
A	ISSUED FOR DOOR & HARDWARE PRICING	06/30/22
B	ISSUED FOR WINDOW PRICING	07/13/22

**NUPRO**  
10 SANDY LANE  
SOUTH DEERFIELD, MA 01373

PROJECT DESCRIPTION  
**NEW PRODUCTION BUILDING**

DRAWING TITLE  
**ENLARGED SECOND FLOOR PLAN**

DRAWN BY: **DB**

DATE DRAWN: **05/16/22**

SCALE: **AS NOTED**

APV'D BY: \_\_\_\_\_

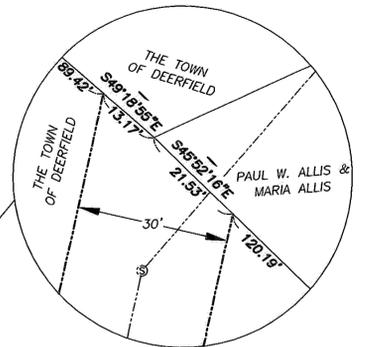
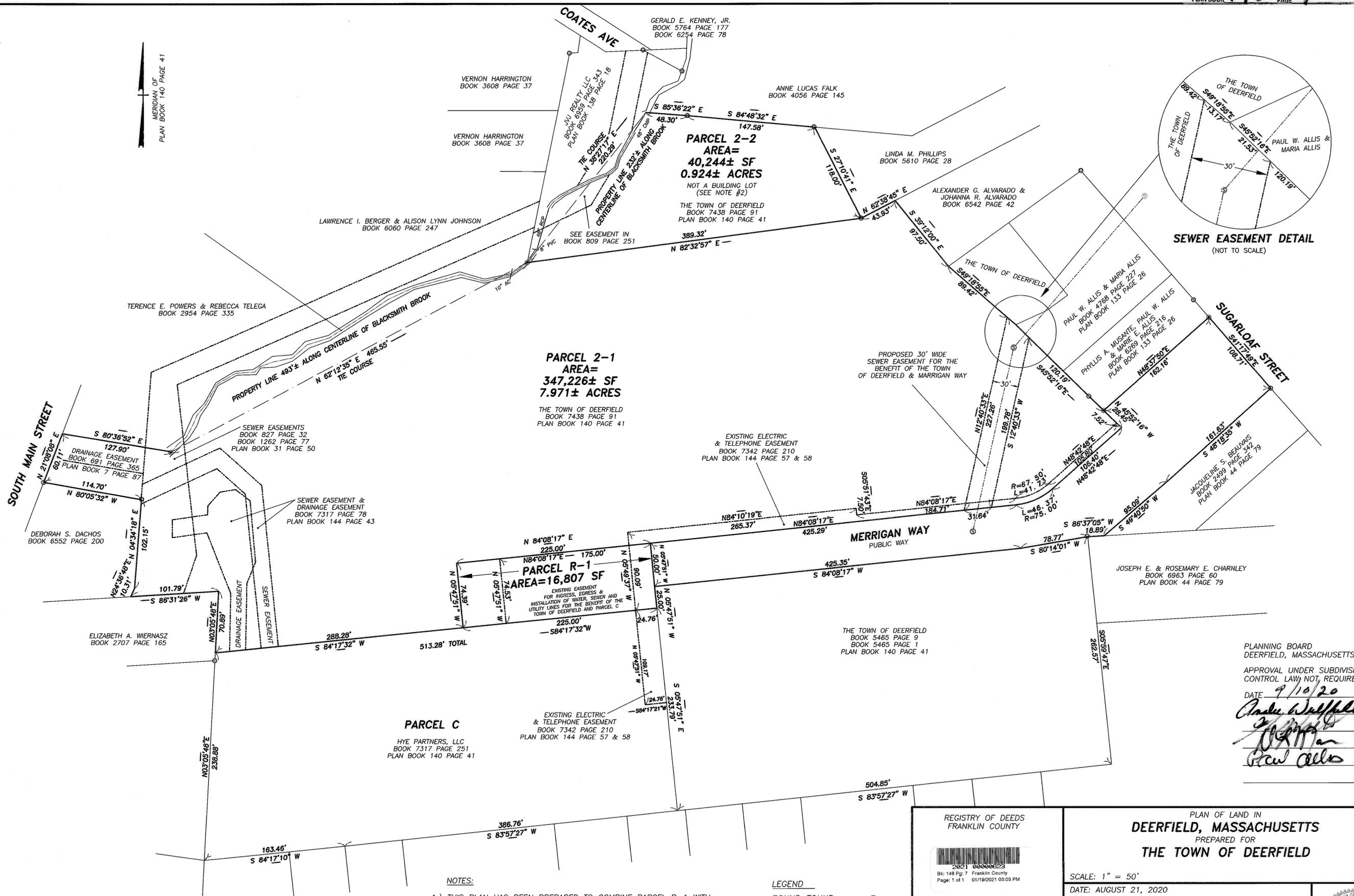
CAD CODE:  
**MI-2717-A-401.dwg**

PROJECT NUMBER:  
**MI-2717-001**

1 ENLARGED SECOND FLOOR PLAN  
A-402 1/8"=1'-0" 0 4' 8' 16'

2 ENLARGED SECOND FLOOR PLAN (CONTINUED)  
A-402 1/8"=1'-0" 0 4' 8' 16'

DRAWING NUMBER: **A-402**  
REV.: **B**



PLANNING BOARD  
 DEERFIELD, MASSACHUSETTS  
 APPROVAL UNDER SUBDIVISION CONTROL LAW, NOT REQUIRED  
 DATE 9/10/20  
*Andrew Wallfisch*  
*[Signature]*  
*[Signature]*

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

8/21/20 *Bruce A. Combs*  
 DATE REGISTERED LAND SURVEYOR

- NOTES:**
- 1.) THIS PLAN HAS BEEN PREPARED TO COMBINE PARCEL R-1 WITH MERRIGAN WAY WHICH IS A PUBLIC RIGHT OF WAY AND TO CREATE A SEWER EASEMENT WITHIN PARCEL 2-1.
  - 2.) PARCEL 2-2 IS NOT A BUILDING LOT. THIS PARCEL WILL BE CONVEYED BY THE TOWN OF DEERFIELD FOLLOWING A PROCUREMENT PROCESS.

- LEGEND**
- BOUND FOUND □
  - IRON PIPE FOUND ○
  - IRON ROD FOUND ●
  - SANITARY MANHOLE ⊙

REGISTRY OF DEEDS  
 FRANKLIN COUNTY

2021 0000000223  
 Bk: 148 Pg: 7 Franklin County  
 Page: 1 of 1 01/19/2021 03:03 PM

PLAN OF LAND IN  
**DEERFIELD, MASSACHUSETTS**  
 PREPARED FOR  
**THE TOWN OF DEERFIELD**

SCALE: 1" = 50'  
 DATE: AUGUST 21, 2020

**HERITAGE SURVEYS, INC.**  
 PROFESSIONAL SURVEYORS AND ENGINEERS  
 241 COLLEGE HIGHWAY & CLARK STREET  
 POST OFFICE BOX 1  
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 (413) 527-3600

JOB # 8021-200129 DWG # 8021DE01 MAP # 8021-200821

